

Building permit

*Building Act 2011, section 25
Building Regulations 2012, regulation 4, 21*

Permit number
BPC25/1707

1. Builder details

Builder's name	CH Carpentry Pty Ltd 10 Caprice Place HEATHRIDGE WA 6027		
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Street address (provide lot number where street number is not known)	Unit no	Street no	Level	Lot no
	Street name		Street type	Street suffix
	Suburb	State	Postcode	Country (if not Australia)

OR

PO Box address	PO Box no		
	Suburb	State	Postcode

Registration number or owner-builder
approval number (if applicable)

0

2. Details of building work

Property street address (provide lot number where street number is not known)	Unit no	Street no	Level	Lot no
	18			752
	Street name MacLeay		Street type Drive	Street suffix
Suburb PADBURY	State WA	Postcode 6025		

Nature of the building
work

PATIO

Stage(s) of work

Proposed Patio.

BCA class of the
building

Main BCA class 10a	Secondary BCA class (for multi-purpose buildings)
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Use(s) of the building

Non Habitable Building	Each restriction on use (if applicable)
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Estimated value of
building work (as
determined by permit
authority)

\$15000.00	
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3. Applicable certificate of design compliance

Certificate of design compliance issued by:

Building surveying contractor/public authority's name	Specialised Building Solutions Pty Ltd	
Phone/fax	Phone no 0862094130	Fax
Email address	approvals@specialisedbuildingsolutions.com	Date 03/11/2025

4. Permit details

All building work permitted by this permit:

1. Must be carried out in accordance with the plans and specifications specified in the applicable certificate of design compliance for this building permit.
2. Must be carried out in accordance with any conditions set out below:

Conditions

- During construction of the proposed patio, the existing pool must be protected at all times to comply with the requirements in A.S.1926.1. If a temporary barrier is required to protect the pool it must comply with A.S.1926.1 and it is recommended that you contact the City's swimming pool inspection team to arrange an inspection of the temporary barrier.
- It is the owner's responsibility to ensure the swimming pool/spa safety barrier is in strict accordance with A.S.1926.1 at all times.
- Pool security to be maintained at all times.
- It is the owner/builder's responsibility to pay for any damage caused to the City's infrastructure during the building process. If any damage or disturbance occurs to the City's infrastructure, ensure you contact the City immediately.
- A Notice of Completion (BA7) must be received by the City of Joondalup within seven (7) days on completion of the building works in accordance with s.33 of the Building Act 2011.
- No part of the structure (including footings) shall encroach over a lot boundary. In accordance with the Building Act 2011, if the proposed build work encroach or adversely affect the adjoining owner property, the applicant must obtain a signed BA20 form prior to building work commencing.
- During Building operations, streets, verges, footpaths and public spaces (including right-of-way) are to be maintained clear of obstructions, sand and building materials and maintained in a trafficable condition at all times. It is the responsibility of the Owner/Builder to contact the City for rectification of any damage/disturbance.
- The existing footpath and kerb shall be retained and protected during the construction of the vehicle crossover. It must not be removed or altered.
- Disposal of stormwater must not cause erosion, corrosion, or other defects as a result of the method of disposal. If these are likely to occur, then disposal must be into earthenware or PVC drains which shall empty into a soakwell or other suitable approved stormwater scheme. If discharge of water is to surface, it shall not be allowed to flow to adjoining private or public property.
- A receptacle suitable for the collection and disposal of building work waste must be provided in

accordance with the City's *Waste Local Law 2017*.

- The external finishes of any boundary wall/front fence must be consistent (and maintained) with the external wall of the dwelling unless there is a development approval in place.
- This permit is valid where Water Corporation approval has been granted (where applicable) before commencing work to ensure their infrastructure is maintained and not damaged during building works.
- This permit does not negate the need for the Builder to obtain other approvals (including easements) where required under Legislation.
- All notations in red ink must be complied with.

Advisory Notes (where applicable)

The issuing of this building permit does not negate the need for the responsible person to obtain permission from affected land owners, when it is required, before commencing work.

It is recommended that before undertaking any building work on site that the lot boundaries are identified or seek the services of a licensed land surveyor to re-establish the survey pegs.

This building permit does not constitute development (planning) approval, and where applicable under relevant legislation, separate development approval may be required.

Must comply with the requirements of the City of Joondalup Local Planning Scheme No.3, including the separate requirement to obtain development approval where applicable.

This building permit does not constitute clearance of planning conditions requiring separate works to be undertaken or plans and information to be submitted to the City for approval. Works are to be undertaken and/or separate plans and/or information is required to be submitted to the City's Planning Services and approved separately in accordance with the requirements of the development approval. The issuing of this building permit does not negate the need to have all necessary planning conditions cleared prior to commencing development. For further information contact Planning Services on 9400 4000.

Development shall comply with the requirements of the Health (Miscellaneous Provisions) Act 1911, the Sewerage (Lighting, Ventilation and Construction) Regulations 1971 and the City of Joondalup Health Local Laws 1999.

Under the provisions of the Environmental Protection (Noise) Regulations 1997, restrictions are placed on all activities which are likely to create a noise disturbance to nearby residents. Generally, activities likely to generate noise are prohibited between 7pm & 7am and all day Sunday and Public Holidays, without the approval of the City.

3. Must be inspected and tested as prescribed under section 36(2)(a) of the *Building Act 2011* (refer to the certificate of design compliance for the applicable list of inspections and tests that are to be listed here):

Inspections and tests

N/A.

4. A permit granted to do one or more stages of building work does not automatically entitle a person to be granted a further building permit for any other stage of the building work.

5. This permit is valid for two years from the date of this permit **OR** valid until

Date 18/11/2027

Issuing officer	Name Pauline Whale	Job title Administration Officer Regulatory Services
	Signature 	Date 18/11/2025
Permit authority	City of Joondalup	

Certificate of design compliance

Building Act 2011, section 19

Building Regulations 2012, regulation 4, 18A, 18B, 18C

PERMIT AUTHORITY
USE ONLY

Reference number

BUILDING SURVEYING
USE ONLY

Reference number

251201.1

1. Property this certificate relates to

Property street
address (provide lot
number where street
number is not
known)

Unit no	Street no 18	Level	Lot no
Street name Macleay		Street type Drive	Street suffix Dr
Suburb Padbury		State WA	Postcode 6025

Local government
areaMain BCA class of
the buildingUse(s) of the
buildingDescription of the
building(s) and
building work

City of Joondalup			
Class 10a			
Secondary BCA class (for multi- purpose buildings)		Third BCA class (for multi-purpose buildings)	
Patio	Each restriction on use (if applicable)		
Proposed Patio			

2. Applicable building standards

The edition of the Building Code applied in respect of this building or incidental structure

National Construction Code Volume Two 2022 – Amendment 1 & 2

Any declaration under section 39 of the *Building Act 2011* made in respect of this building or incidental structure

N/A

Bush fire prone areas (only required for the types of buildings or incidental structures stated below)

In respect of a Class 1, Class 2 or Class 3 building, a Class 9 vulnerable use building, or a Class 10a building or deck that is located less than six (6) metres from the Class 1, Class 2 or Class 3 building or Class 9 vulnerable use building:

Is the building or deck located in a bush fire prone area? Yes No (if no, continue to part 3)

Does a bush fire performance requirement apply to the building or deck?

 Yes. The Bushfire Attack Level (BAL) or other measure is: _____ No. Does not apply because of: _____

(See regulations 15D, 31BA(1) and 31D of the Building Regulations 2012 which affect the application of bush fire performance requirements to buildings and decks)

3. Plans, specifications and other documents

Plans and specifications specified in accordance with section 19(3) of the *Building Act 2011*

All documents referenced below are watermarked by Specialised Building Solutions & bear the reference number - 251201.1

Drawing numbers

Site plan & elevations stamped by Specialised Building Solutions (3 sheets)

Specifications

SBS Design Compliance Summary dated 03/11/2025 (2 sheets)

Technical documents

Structural Details by B Waddell Consulting Engineers (7 sheets)

4. Other prescribed requirements

Details of any advice given by the FES Commissioner in respect of the plans and specifications (Class 2 to Class 9 buildings only)

N/A

Details of any notification given to the FES Commissioner under regulation 15A(1) of the Building Regulations 2012 (Class 2 to Class 9 buildings only)

N/A

Details of each performance solution and the assessment methods used as required under regulation 18A of the Building Regulations 2012 for:

- Class 2 to Class 9 buildings; or
- the bush fire performance requirement for Class 1 buildings in bush fire prone areas.

N/A

5. Inspections and tests

List the applicable inspections and tests prescribed under section 36(2)(a) of the *Building Act 2011* (i.e. as prescribed in regulation 27 and Schedule 3 of the Building Regulations 2012)

N/A

6. Declaration

1. This building or incidental structure, if completed in accordance with the plans, specifications and technical documents specified in part 3 of this certificate, will comply with each applicable building standard.
2. I have applied the edition of the Building Code specified in part 2 of this certificate in respect of the building or incidental structure.
3. A declaration under section 39 of the *Building Act 2011* that a building standard does not apply or is modified in a way as specified in part 2 of this certificate in respect to this building or incidental structure has been made or has not been made.
4. Each performance solution that is relied upon to establish compliance with a building standard is shown on the plans and specifications specified in part 3 of this certificate. Where required, I have made the necessary statements in part 4 of this certificate.
5. Where required by the Building Regulations 2012, plans and specifications provided in sufficient detail to allow assessment of compliance with the FES Commissioner's operational requirements were provided to the FES Commissioner at least 15 business days prior to the date of this certificate.
6. Details of any advice given by the FES Commissioner in respect of the plans and specifications are set out in part 4 of this certificate.
7. I have notified the FES Commissioner of the details of any part of the FES Commissioner's advice that is not incorporated in the plans and specifications specified in part 3 of this certificate and the reasons for not incorporating that advice and details of this notification are set out in part 4 of this certificate.
8. Where this certificate relates to a Class 1, Class 2 or Class 3 building, a Class 9 vulnerable use building or a Class 10a building or deck that is located less than six (6) metres from the Class 1, Class 2 or Class 3 building or Class 9 vulnerable use building, I have made the required statements in part 2 of this certificate in respect to bush fire prone areas.
9. I am an independent building surveyor as defined in section 4 of the *Building Act 2011*.

Building surveying practitioner's name

Sai Nishanth Bandila

Street address
(provide lot number
where street
number is not
known)

Unit no 10	Street no 1	Level	Lot no
Street name Irwin		Street type Road	Street suffix
Suburb WANGARA	State WA	Postcode 6065	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

admin@specialisedbuildingsolutions.com

Phone/fax

Phone no
08 6209 4130

Fax

Registration details

Registration number
3112

Level
2

Building surveying
practitioner's
signature



Date
3 November 2025

7. Certificate issued by

Building surveying contractor / public authority's name

Specialised Building Solutions Pty Ltd

Street address
(provide lot number where street number is not known)

Unit no 10	Street no 1	Level	Lot no
Street name Irwin		Street type Road	Street suffix
Suburb WANGARA	State WA	Postcode 6065	Country (if not Australia)

OR

PO Box address

PO Box no

Suburb	State	Postcode	Country (if not Australia)
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Email address

admin@specialisedbuildingsolutions.com

Phone/fax

Phone no
08 6209 4130

Fax

Registration details
(contractors only)

Registration number
2028

Level
1

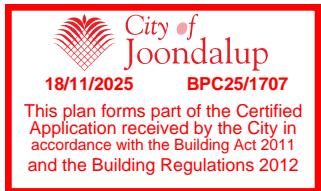
Building surveying contractor/public authority officer's signature

Name (print)
Sai Nishanth Bandila

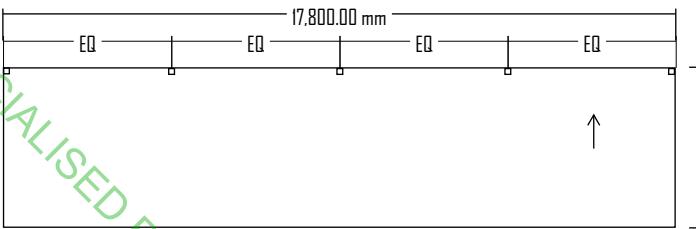
Signature



Date
3 November 2025



CERTIFIED BY SPECIALISED BUILDING SOLUTIONS - 251201.1 - 03/11/2025



17,800.00 mm

4,250.00 mm

EQ EQ EQ EQ

AA ↑

AB ←



PLANS TO BE READ IN CONJUNCTION WITH SBS DESIGN COMPLIANCE SUMMARY



18 MACLEAY DR
PADBURY WA 6025

SCALE : 1:200
DRAWN BY : AW
DATE : 02/08/2025

REVISION

1

DRAWING TITLE

FLOOR PLAN

EXISTING / PROPOSED

DRAWING NO.

A 1 - 0 2

2,000.00 mm
SCALE

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NOTES - PLANNING

1. COLOUR SCHEDULE PER DOCUMENTATION.
2. NO WORKS IMPACTING REGULATED OR SIGNIFICANT TREES
3. EXIS. TREES OMITTED FOR CLARITY.

NOTES - BUILDING

1. STORMWATER CAPTURED BY BUILDING DIVERTED TO STREET VIA EXISTING DRAINAGE.
2. DOWNPipe SERVING NOT MORE THAN 12M GUTTER LENGTH PER NCC 2022.
3. STRUCTURAL DESIGN PER DOCUMENTATION.
4. STUTURE TO BE BUILT IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATION AND RELEVANT AUSTRALIAN STANDARDS.
5. DOWNPipe LOCATION TO BE CONFIRMED ON SITE.

LEGEND

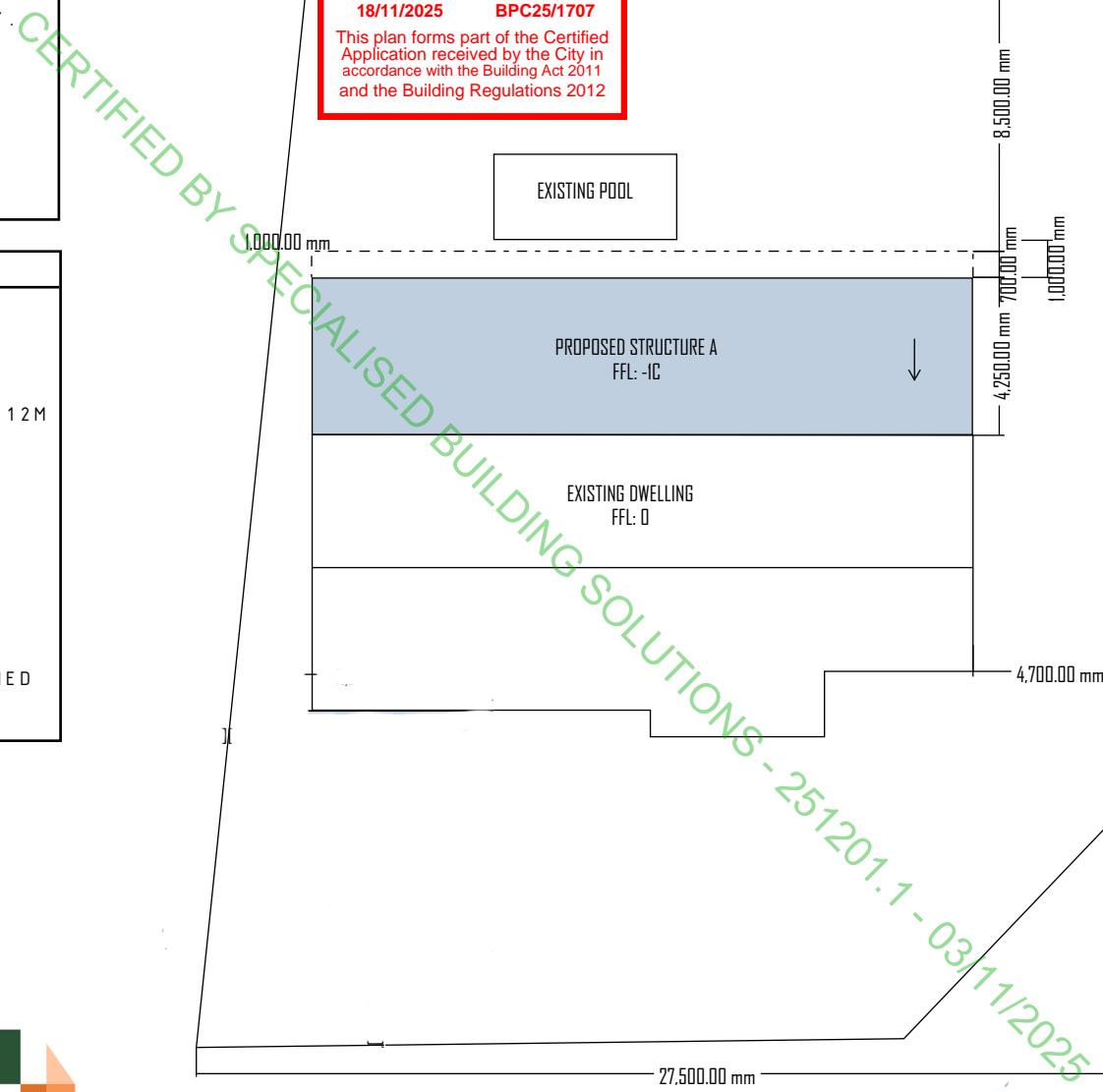
- PROPOSED STRUCTURE
- DP DOWNPipe
- POOL BARRIER



Specialised Building
Solutions



PLANS TO BE READ IN
CONJUNCTION WITH SBS
DESIGN COMPLIANCE
SUMMARY



MACLEAY DR

2,000.00 mm
SCALE

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18 MACLEAY DR
PADBURY WA 6025

SCALE : 1:200
DRAWN BY : AW
DATE : 26/08/2025

REVISION

0

DRAWING TITLE

SITE PLAN
EXISTING / PROPOSED

DRAWING NO.

A 1 - 0 1

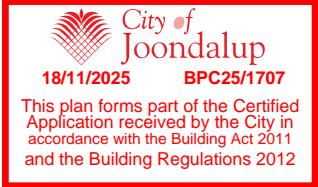


**Specialised Building
Solutions**

PLANS TO BE READ IN
CONJUNCTION WITH SBS
DESIGN COMPLIANCE
SUMMARY

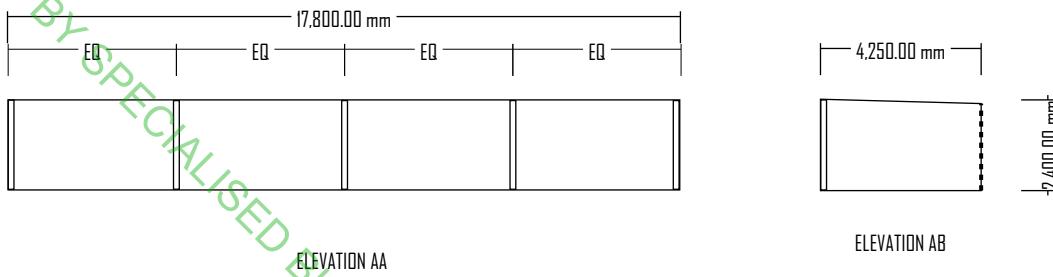


LEGEND	
<input type="checkbox"/>	POST
<input type="checkbox"/>	EXISTING DWELLING
<input type="checkbox"/>	ATTACHMENT



18/11/2025 BPC25/1707

This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012



ELEVATION AA

ELEVATION AB

18 MACLEAY DR
PADBURY WA 6025

SCALE : 1:200

DRAWN BY : AW

DATE : 02/08/2025

REVISION

1

DRAWING TITLE

ELEVATION

EXISTING / PROPOSED

DRAWING NO.

A 1 - 0 3

2,000.00 mm
SCALE

CERTIFIED BY SPECIALISED BUILDING SOLUTIONS - 251201.1 - 03/11/2025

SBS Design Compliance Summary

This specification is to be read in conjunction with the attached Certificate of Design Compliance, final workings drawings, builder's specifications, and any technical certificates (energy efficiency documentation, structural engineers' drawings). Under the requirements of the *Building Act 2011* and *Building Regulations 2012*, this specification provides supplementary compliance notes with regards to the applicable building standard - National Construction Code Volume Two 2022 Amendment 1 and any referenced standards. It is the clients' responsibility to ensure all compliance with the below notes and any conditions imposed on the Permit by the Permit Authority.

SITE ADDRESS: 18 Macleay Drive, Padbury WA

BUILDING CLASSIFICATION: Class 10a

DATE: 03/11/2025

- All construction and materials are to comply with the relevant parts of the National Construction Code, Volume Two 2022 and the referenced Australian Standards.
- Construction certification, details and/or drawings provided are certified by a professional engineer, as per the NCC definition, and deemed to be sufficient evidence of suitability addressing performance requirement H1P1. Construction to be carried out in strict accordance with the Engineers' certification, details and/or drawings.
- The structural integrity of existing retaining walls on the property are to be maintained at all times and the Contractor remains responsible for ensuring that any adjacent structures or retraining walls are protected from instability / undermining during, and as a result of construction. If unsure, contact the Structural Engineer for advice.
- An adequate stormwater drainage system must be in place for the drainage of roofs, sub-soil areas where excessive soil moisture problems may occur and from land adjoining and under buildings, in accordance with Part H2D2 of the National Construction Code, Volume Two 2022. Stormwater drainage must be to the satisfaction of the Local Government and designed so that overflow during heavy rain is prevented from flowing back into the building.
- Surface water must be diverted away from the building in accordance with HP3.1.3 of the National Construction Code, Volume Two 2022.
- Site has been classified (as per AS 2870) by a professional engineer and footings/slabs have been designed accordingly to accommodate A, S, M or H sites. Builder to confirm on site and refer to Engineer and this Office where clay, silt or loose sand; landslip; mine subsidence; collapsing soils; soils subject to erosion; abnormal moisture conditions are discovered.
- Footing & slab construction including foundations, fills, vapour barriers, steel reinforcement and concrete to be constructed in accordance with National Construction Code 2022, Volume Two, AS 2870 (Residential slabs and footings), AS 2159 (Piling – Design and installation)) and AS 3600 (Concrete structures).
- The Aluminium/steel roof, wall and/or floor frame is to be constructed in accordance with the following Australian Standards:

- (i) AS 1170.1 - Loading Code - Dead and Live
- (ii) AS/NZS 1664.1
- (iii) AS/NZS 1664.2
- (iv) AS 4055 - Wind Loads for Housing
- (v) AS 4100 - Steel structures
- (vi) AS/NZS 4600 - Cold Formed Steel Structures
- (vii) NASH Standard Part 1 & Part 2.



- Metal sheet roofing must be protected from corrosion in accordance with Table 3.5.1.1 of National Construction Code, Volume Two 2022 and where different metals are used in a roofing system, they must be compatible with each other as described within Table 7.2.2a - 7.2.2.e.
- All exposed steel is to be galvanised and wall ties to be protected against corrosion in accordance with Housing Provisions 6.3.9 of the National Construction Code 2022, Volume Two.
- Metal sheet roof cladding minimum pitch, maximum span, layout, fixings and flashings are to be installed in accordance with manufacturers specifications and Housing Provisions Part 7.2 of National Construction Code, Volume Two 2022.
- Guttering and downpipes are to be selected and installed in accordance with Parts 7.4.3 – 7.4.5 of the ABCB Housing Provisions Standard. Downpipes are not to serve more than 12m of gutter length per down pipe and be located as close as possible to valley gutters. Alternatively gutter and downpipes can be designed and installed in accordance with AS/NZS 3500.3:2021 in accordance with the variation in NCC 2022 Amendment 1 WA Part F9.
- Where the patio slopes toward existing dwelling, either box gutters are to be provided in accordance with AS/NZS 3500.3 (OR) the proposed patio is to have independent gutters to comply with part H2D6 Roof & Wall Cladding/ Part 7.4 ABCB Housing provisions.
- Any compliant pool safety barriers and/or gates at the property to remain unaltered.

STRUCTURAL NOTES

DESIGN CRITERIA

- THE FOLLOWING DESIGN DRAWINGS AND DESIGN IS COMPLIANT WITH THE NCC BCA 2022
- THE FOLLOWING AUSTRALIAN STANDARDS HAVE BEEN USED FOR THE DETERMINATION OF LOADS AND LOAD COMBINATIONS FOR THE DESIGN OF THIS PATIO, INCLUDING:
 - AS 1170.0: STRUCTURAL DESIGN ACTIONS – PART 0: GENERAL PRINCIPLES;
 - AS 1170.1: STRUCTURAL DESIGN ACTIONS – PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS;
 - AS 1170.2: STRUCTURAL DESIGN ACTIONS – PART 2: WIND ACTIONS;
 - AS 1170.4: STRUCTURAL DESIGN ACTIONS – PART 4: EARTHQUAKE ACTIONS IN AUSTRALIA;
- DESIGN WIND CLASSIFICATION TO AS1170.2
REGION = A1
TERRAIN CATEGORY = 3
TOPOGRAPHIC MULTIPLIER = 1.0
SHIELDING MULTIPLIER = 0.8
ANNUAL PROBABILITY OF EXCEEDANCE = 1:100 YEARS
- SITE CLASSIFICATION TO AS2810
CLASS = A
- DESIGN OF PATIO MEMBERS IS BASED ON A DEFLECTION CRITERIA OF SPAN ON 250 FOR EDGE BEAMS AND RAFTERS AND SPAN ON 180 FOR PURLINS.

GENERAL

- READ THIS DRAWING IN CONJUNCTION WITH ARCHITECTURAL AND SERVICE DRAWINGS.
- DO NOT SCALE FROM DRAWINGS.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REQUIREMENTS AS WELL AS LATEST REVISIONS OF THE RELEVANT AUSTRALIAN STANDARD.
- ALL DIMENSIONS AND SITE CONDITIONS TO BE CHECKED ON SITE BY THE BUILDER, AND THE ENGINEER NOTIFIED OF ANY DISCREPANCIES.
- ALL DIMENSIONS IN MILLIMETRES U.N.O.

GUTTERS AND DRAINAGE

- ALL GUTTERS AND BOX GUTTERS TO BE DESIGNED BY OTHERS BUT SHALL COMPLY WITH THE FOLLOWING.
- ALL GUTTERS AND BOX GUTTERS SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE AND AS/NZS3500.3
- ALL BOX GUTTERS SHALL HAVE A FREE TO AIR OVERFLOW IN ACCORDANCE WITH AS/NZS3500.3
- EAVE GUTTERS AND EXTERNAL GUTTERS SHALL BE DESIGNED FOR A 20 YEAR ARI.
- BOX GUTTERS AND VALLEY GUTTERS SHALL BE DESIGNED FOR A 100 YEAR ARI.
- MINIMUM WIDTH FOR A RESIDENTIAL BOX GUTTER TO BE 200mm. MINIMUM WIDTH FOR A COMMERCIAL BOX GUTTER TO BE 300mm.

ALUMINIUM

- ALL ALUMINIUM TO BE ALLOY/TEMPER COMPLYING WITH AS1866 WITH A MINIMUM YIELD STRENGTH OF 120MPa.
- ALL ALUMINIUM SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH AS1664.
- ALL ALUMINIUM SECTIONS TO BE PAINTED TO CLIENT SPECIFICATIONS.
- ALL WELDING SHALL BE TO AS1665. WELDS SHALL BE 2mm CONTINUOUS FILLET U.N.O.
- ALL ALUMINIUM MEMBERS TO BE ISOLATED FROM CONTACT WITH MILD STEEL OR OTHER DISSIMILAR METALS. ISOLATION TO BE ACHIEVED USING PLASTIC OR RUBBER GASKETS AS REQUIRED.
- SECTIONS SHALL NOT BE SPLICED OTHER THAN AT JOINTS SHOWN OR OTHERWISE APPROVED BY THE ENGINEER.

CONCRETE

- ALL CONCRETE SHALL CONFORM TO REQUIREMENTS OF AS3600.
- CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH AND PROPERTIES OF:
 - ALL OTHER CONCRETE : N20/20/80
- NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE MIX ON SITE.
- ALL CONCRETE SHALL BE WELL-VIBRATED.
- ALL CONCRETE SURFACES SHALL BE CURED BY PONDING FOR 7 DAYS OR BY AN ALTERNATIVE METHOD APPROVED BY THE ENGINEER.
- CEMENT SHALL BE TYPE GP PORTLAND CEMENT AS PER AS1315.
- MAXIMUM SLUMP SHALL BE 80mm.
- COVER TO REINFORCEMENT SHALL BE U.N.O:
FOOTINGS 65mm

UPLIFT

- THE PATIO, IF CONNECTED TO AN EXISTING ROOF STRUCTURE WILL PRODUCE ADDITIONAL UPLIFT. THE EXISTING ROOF MAY NEED ADDITIONAL TIE DOWN. SHOULD THE EXISTING ROOF BE TRUSSSED, THE ADDITIONAL UPLIFT MUST BE CHECKED AGAINST THE MANUFACTURERS DESIGN. CONTACT ENGINEER IF UNSURE.

IT REMAINS THE BUILDER'S RESPONSIBILITY TO DETERMINE ANY ADDITIONAL TIE DOWN REQUIREMENTS DUE TO THE ADDITION OF A NEW PATIO OR TO CONTACT THE ENGINEER IF UNSURE.

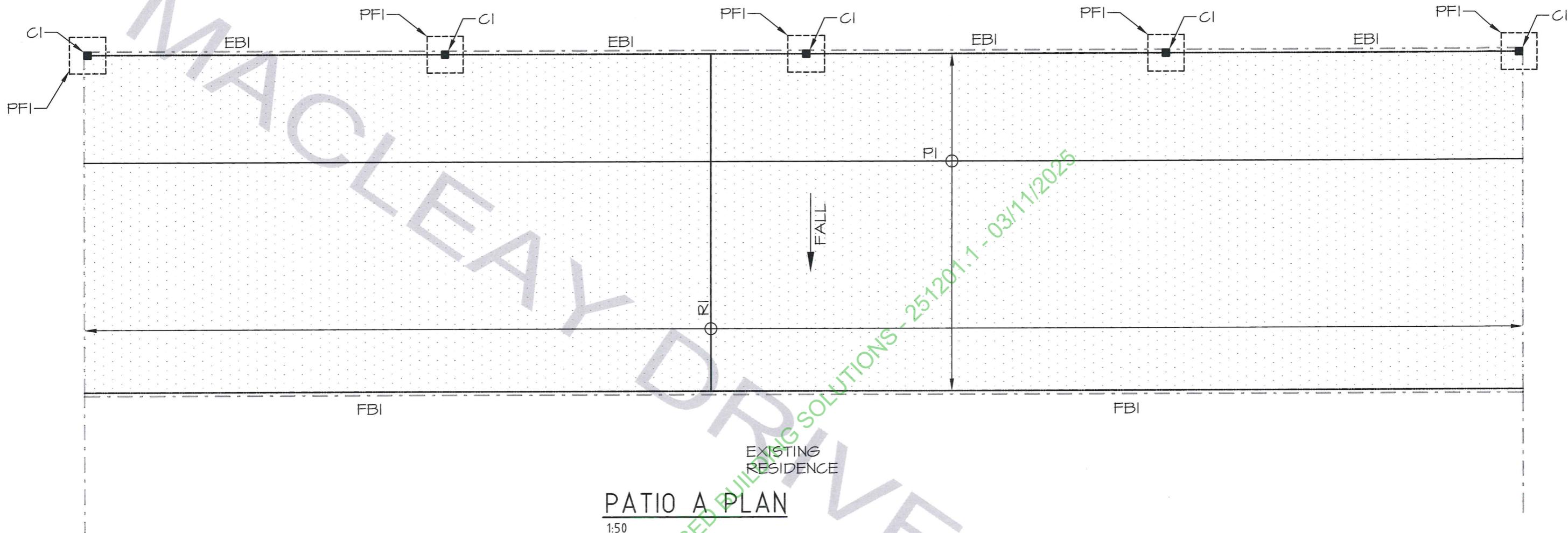


18/11/2025 BPC25/1707

This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				RONNY GEDEON MPE MIEAust CPEng NER No. 6039301 BEP72 BEC5	Date SEPTEMBER 2025	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO	JOB NUMBER: 36224		
A	BSD	25/09/2025	BUILDING LICENCE ISSUE						
REV	BY	DATE	REVISION DESCRIPTION	Scale: N.T.S.		Client: SPECIALISED BUILDING SOLUTIONS			

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18/11/2025 BPC25/1707

This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012

MEMBERS SCHEDULE

RI	150x50x2 RHS RAFTERS AT MAX. 2400 CTS.
PI	100x50x2 RHS PURLINS AT MAX. 1200 CTS.
EBI	150x50x2 RHS EDGE BEAM
FBI	150x50x2 RHS FASCIA BEAM
CI	90x2 SHS COLUMNS
PFI	450x450x450 DEEP MASS CONCRETE FOOTING

ABOVE SIZES ARE A MINIMUM REQUIRED. LARGER SIZES MAY BE USED FOR AESTHETIC OR EASE OF INSTALLATION PURPOSES

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS

RONNY GEDEON
MPE MIEAust CPEng
NER No. 6039301 BEP72 BEC5

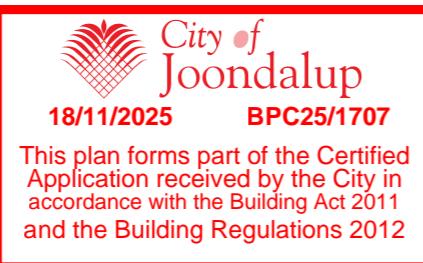
B WADDELL
CONSULTING ENGINEERS

Date SEPTEMBER 2025	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO	JOB NUMBER: 36224
Scale: N.T.S.	Client: SPECIALISED BUILDING SOLUTIONS	Drg No: S2

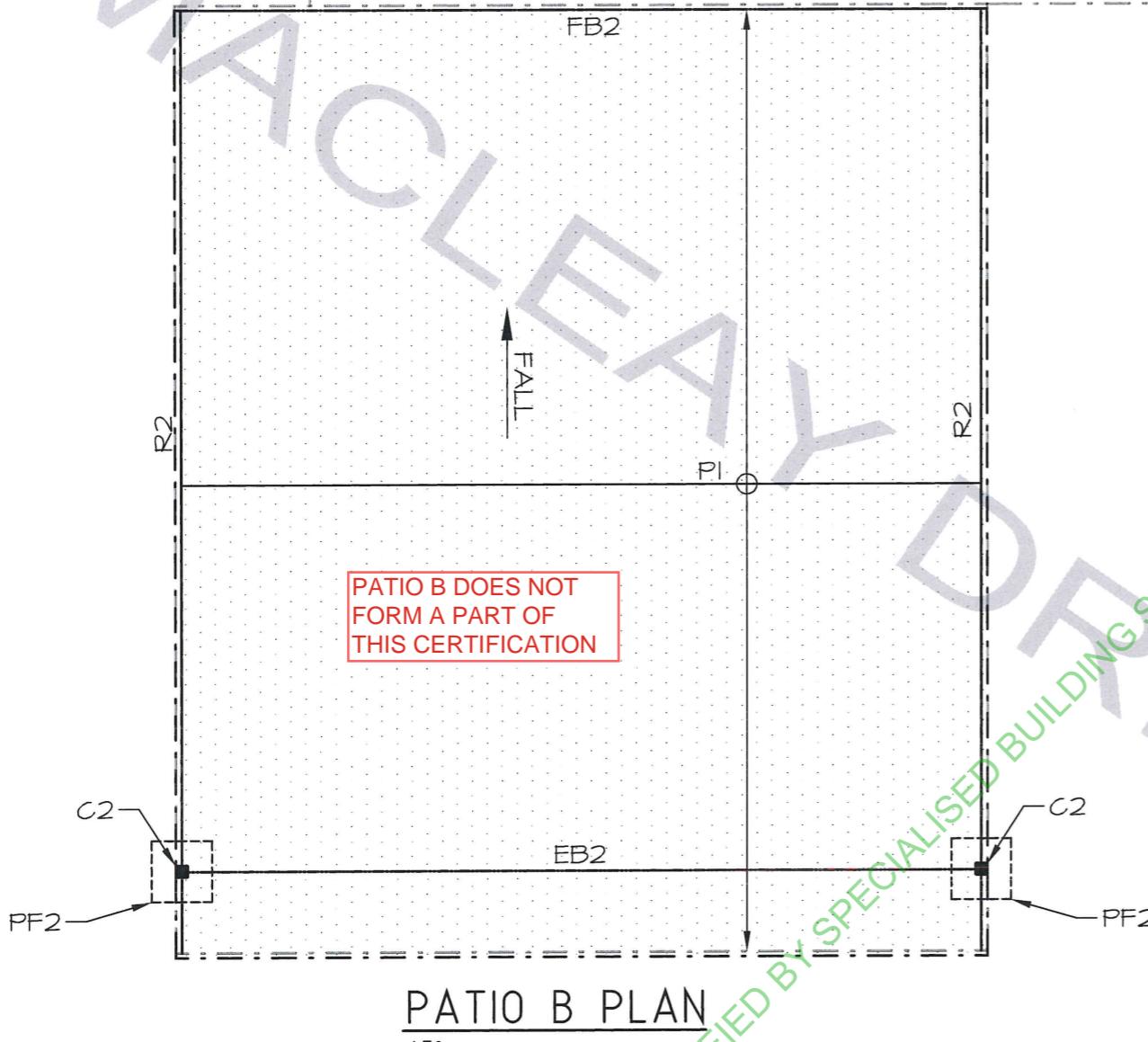
A	BSD	25/09/2025	BUILDING LICENCE ISSUE
REV	BY	DATE	REVISION DESCRIPTION

18

MACEY



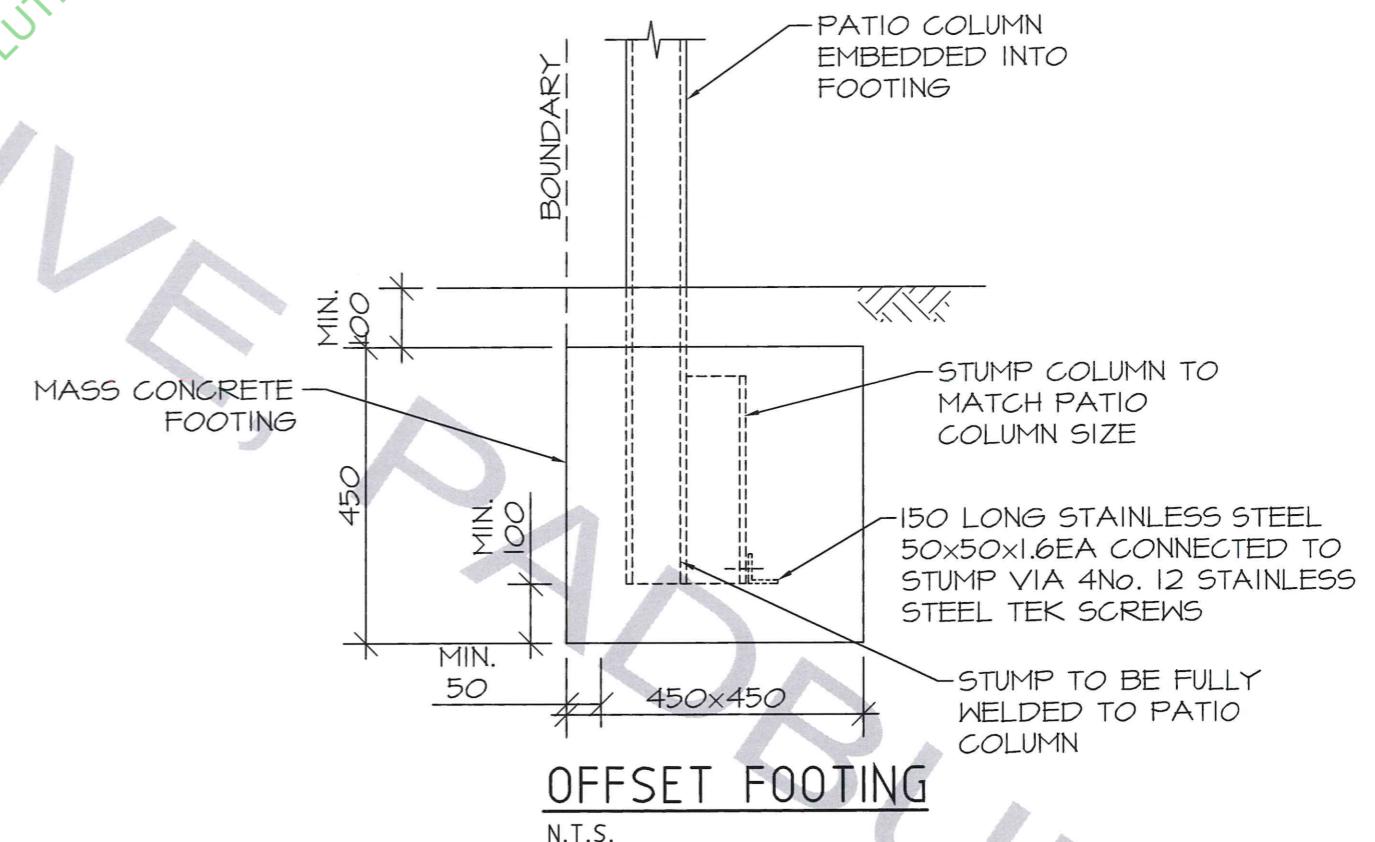
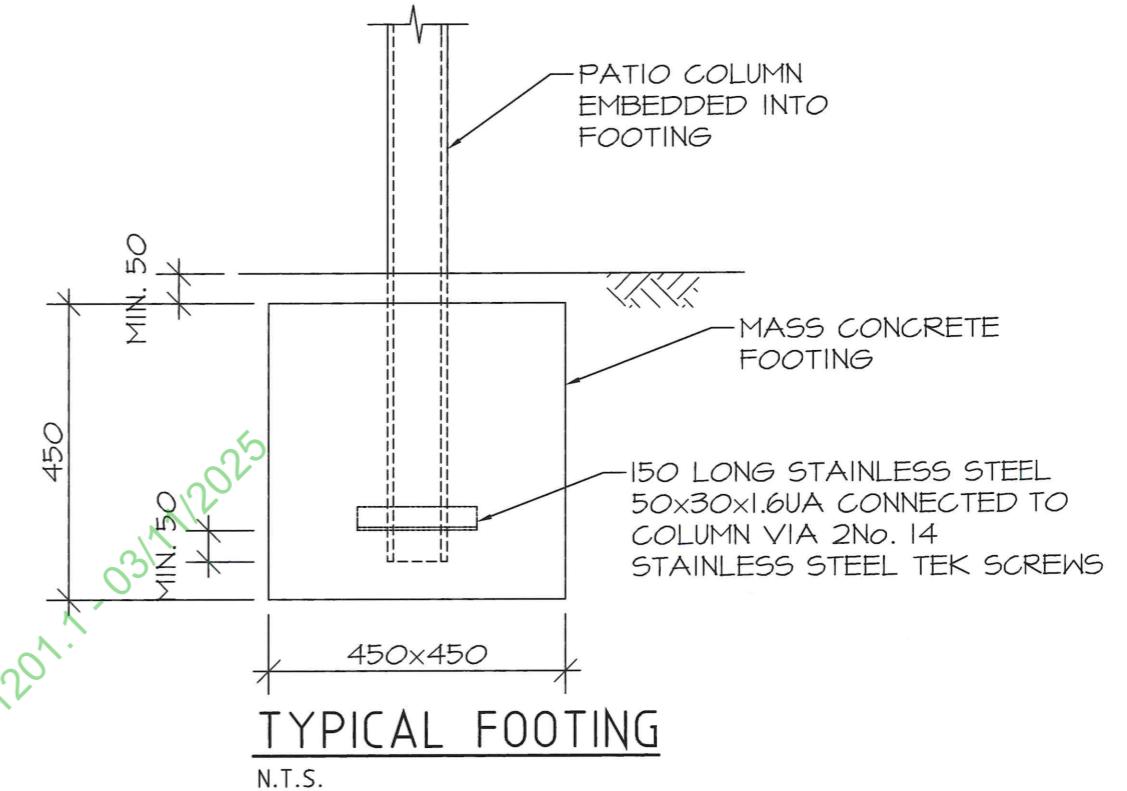
EXISTING RESIDENCE



MEMBERS SCHEDULE

R2	200x50x3 RHS RAFTERS
P2	150x50x2 RHS PURLINS AT MAX. 1200 CTS.
EB2	150x50x2 RHS EDGE BEAM
FB2	150x50x2 RHS FASCIA BEAM
C2	90x2 SHS COLUMNS
PF2	450x450x450 DEEP MASS CONCRETE FOOTING

ABOVE SIZES ARE A MINIMUM REQUIRED. LARGER SIZES MAY BE USED FOR AESTHETIC OR EASE OF INSTALLATION PURPOSES



DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS

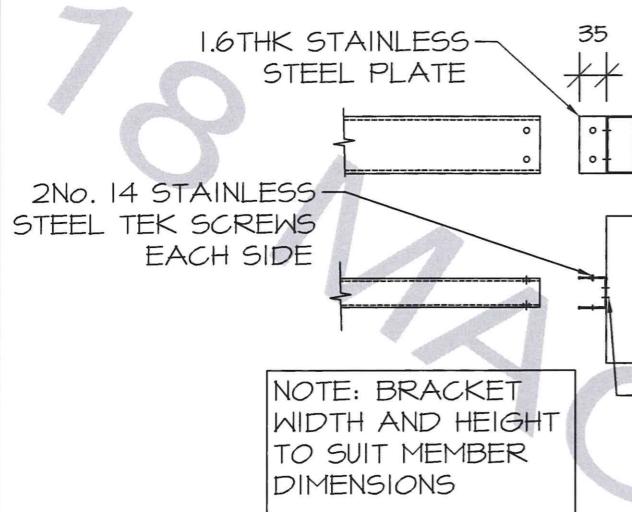
RONNY GEEDON
MPE MIEAust CPEng
NER No. 6039301 BEP72 BECS

B WADDELL
CONSULTING ENGINEERS

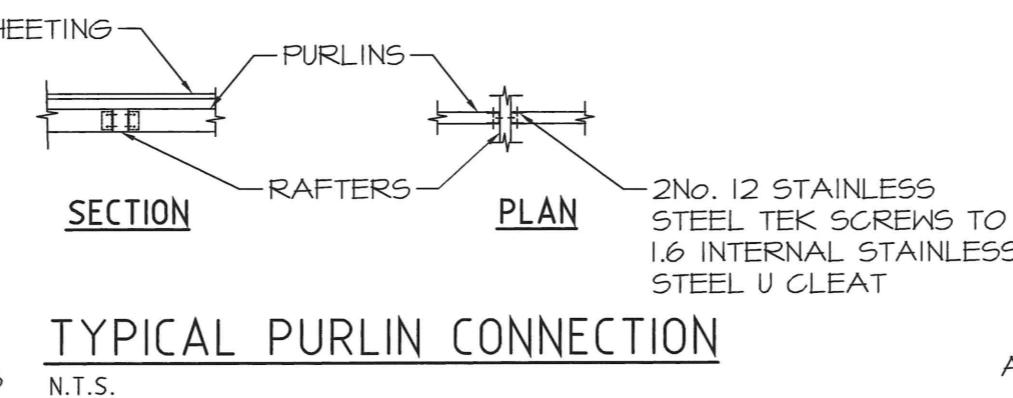
Date: SEPTEMBER 2025
Address: 18 MACLEAY DRIVE, PADBURY
PROPOSED PATIO
Client: SPECIALISED BUILDING SOLUTIONS

JOB NUMBER:
36224
Drg No:
S3

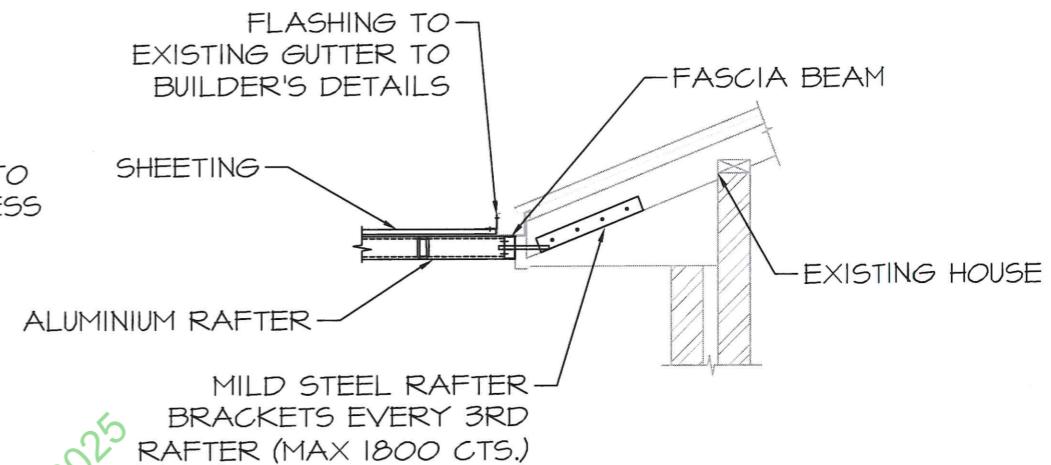
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REV	BY	DATE	REVISION DESCRIPTION



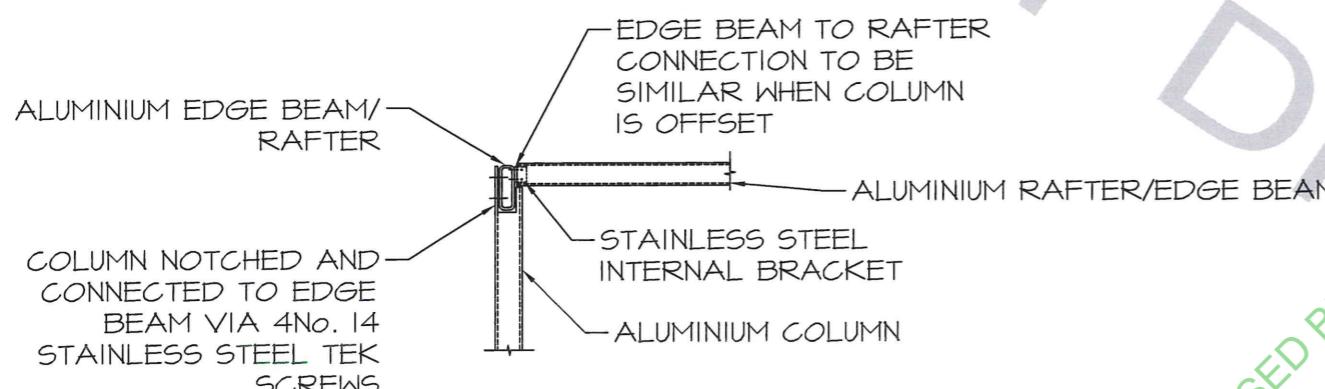
**TYPICAL INTERNAL
BRACKET CONNECTIONS**
N.T.S.



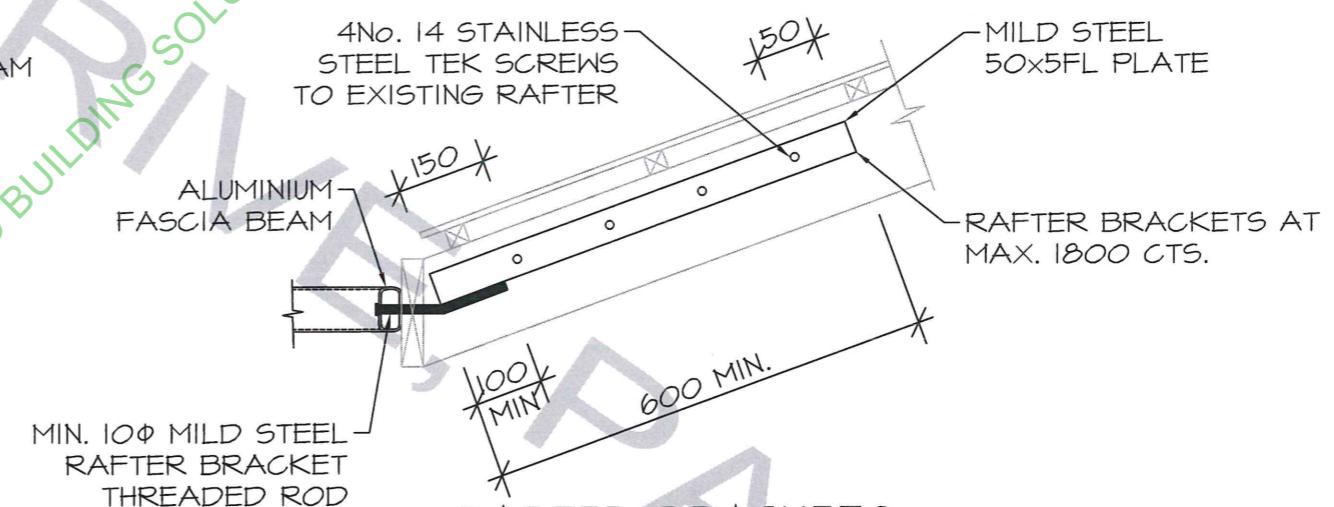
TYPICAL PURFLIN CONNECTION
N.T.S.



RAFTER TO EAVE CONNECTION
N.T.S.



BEAM TO COLUMN CONNECTION
N.T.S.



RAFTER BRACKETS
N.T.S.

REFER NOTE 5 FOR ISOLATION BETWEEN ALUMINIUM AND STEEL



18/11/2025 BPC25/1707

This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012

CERTIFIED BY SPECIALISED BUILDING SOLUTIONS - 251201.1 - 03/11/2025

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				RONNY GEDEON MPE MIEAust CPEng NER No. 6039301 BEP72 BEC5	Date SEPTEMBER 2025	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO	JOB NUMBER: 36224
A	BSD	25/09/2025	BUILDING LICENCE ISSUE				
REV	BY	DATE	REVISION DESCRIPTION				
				Scale: N.T.S.	Client: SPECIALISED BUILDING SOLUTIONS	Drg No: S4	

NOTES - PLANNING

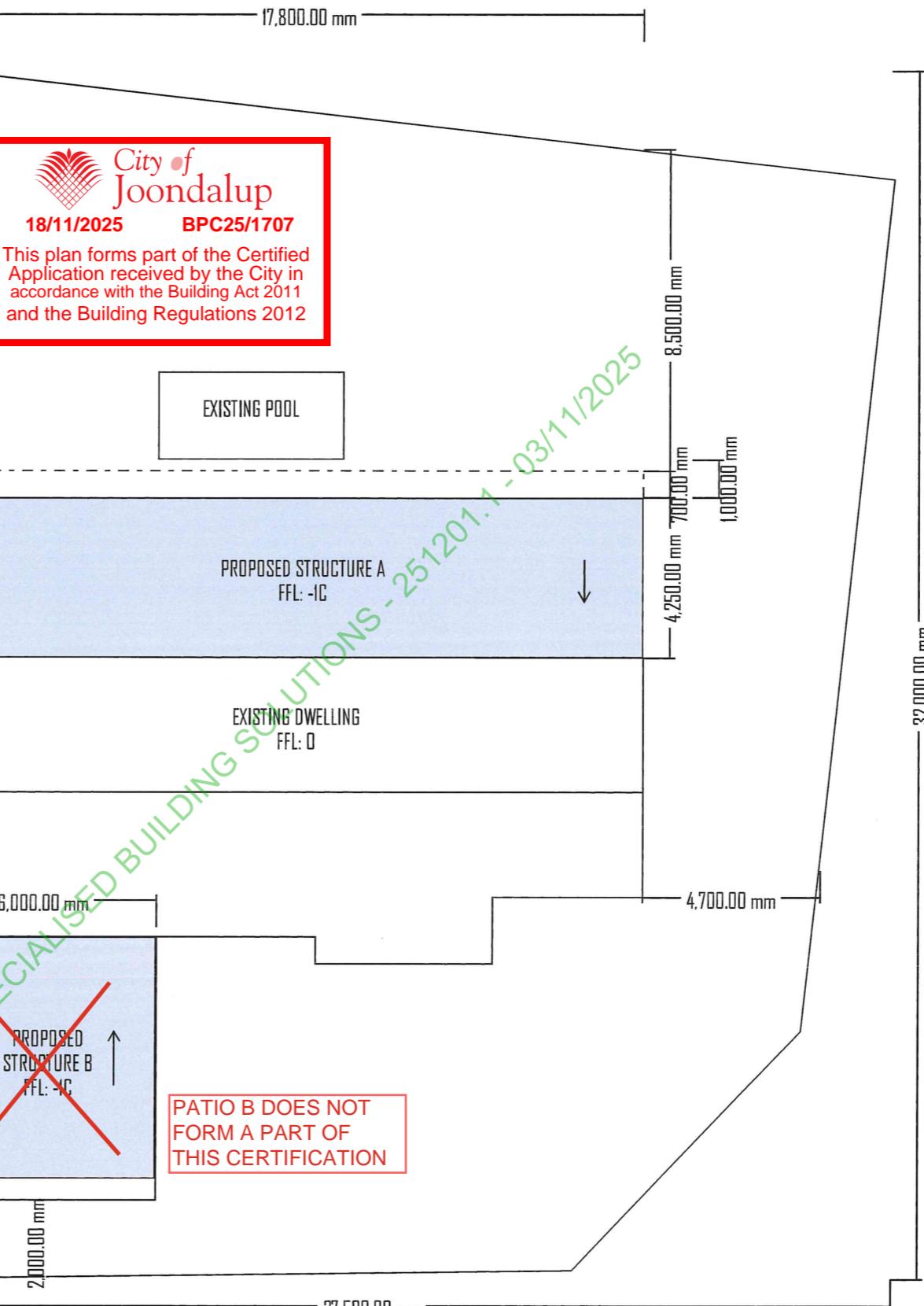
1. COLOUR SCHEDULE PER DOCUMENTATION.
2. NO WORKS IMPACTING REGULATED OR SIGNIFICANT TREES
3. EXIS. TREES OMITTED FOR CLARITY.

NOTES - BUILDING

1. STORMWATER CAPTURED BY BUILDING DIVERTED TO STREET VIA EXISTING DRAINAGE.
2. DOWNPipe SERVING NOT MORE THAN 12M GUTTER LENGTH PER NCC 2022.
3. STRUCTURAL DESIGN PER DOCUMENTATION.
4. STUCTURE TO BE BUILT IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATION AND RELEVANT AUSTRALIAN STANDARDS.
5. DOWNPipe LOCATION TO BE CONFIRMED ON SITE.

LEGEND

- PROPOSED STRUCTURE
- DP DOWNPipe
- POOL BARRIER



MACLEAY DR

2,000.00 mm
SCALE

18 MACLEAY DR
PADBURY WA 6025

SCALE : 1:200
DRAWN BY : AW
DATE : 26/08/2025

REVISION

0

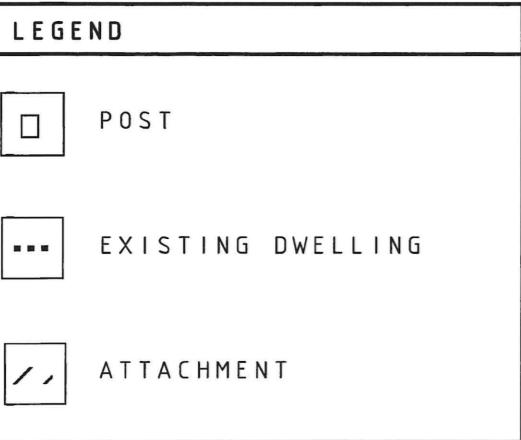
DRAWING TITLE

SITE PLAN

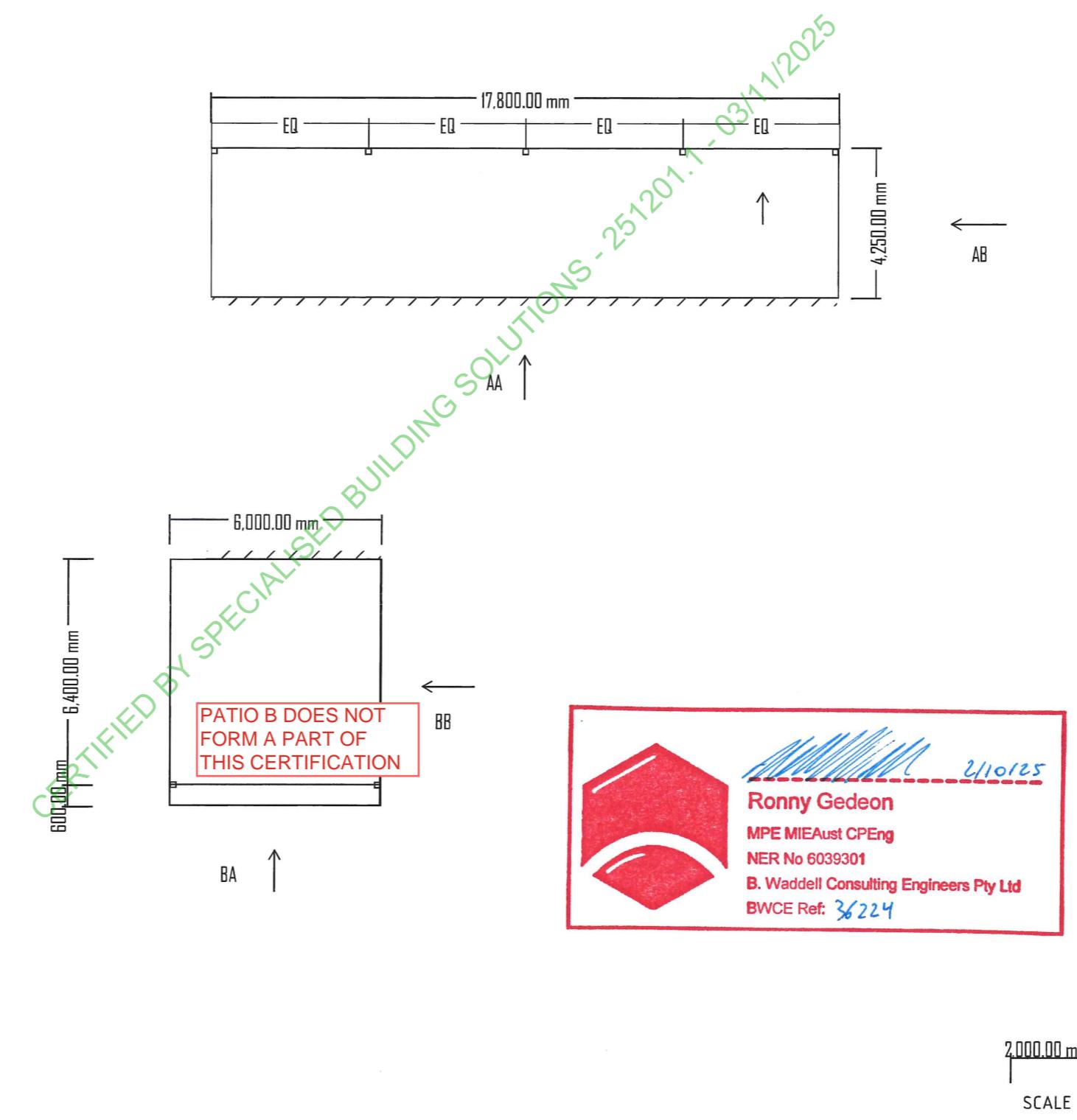
EXISTING / PROPOSED

DRAWING NO.

A 1 - 0 1



This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012



18 MACLEAY DR
PADBURY WA 6025

SCALE : 1:200
DRAWN BY : AW
DATE : 02/08/2025

REVISION

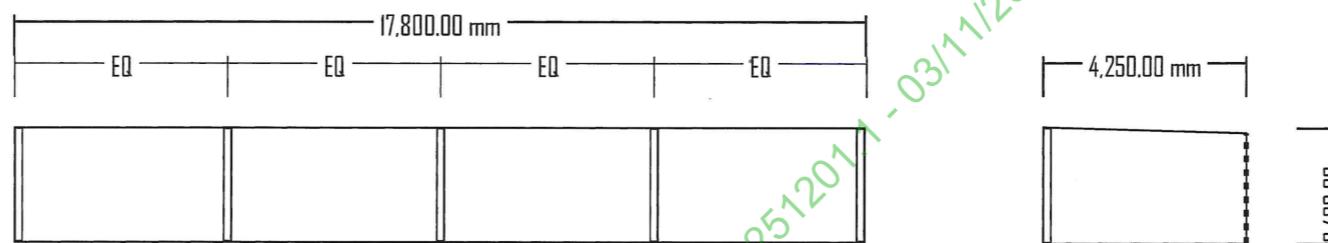
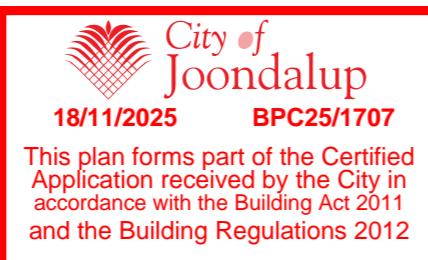
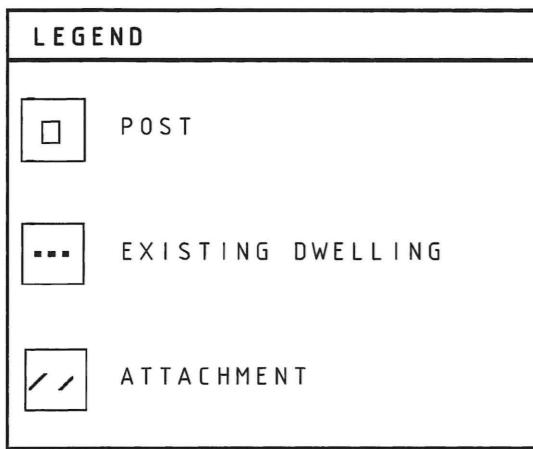
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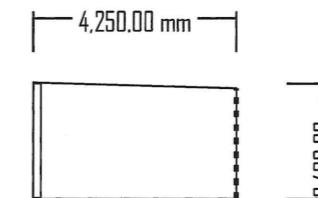
FLOOR PLAN
EXISTING / PROPOSED

DRAWING NO.

A 1 - 0 2



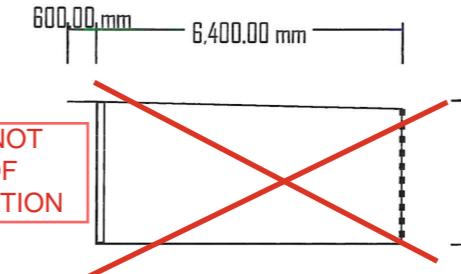
ELEVATION AA



ELEVATION AB



ELEVATION BA



ELEVATION BB



SCALE

FULL SPAN
BUILDING DESIGN
CONSULTANTS

18 MACLEAY DR
PADBURY WA 6025

SCALE : 1:200
DRAWN BY : AW
DATE : 02/08/2025
REVISION
1
DRAWING TITLE
ELEVATION
EXISTING / PROPOSED
DRAWING NO.
A 1 - 0 3

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