

## Building permit

*Building Act 2011, section 25*  
*Building Regulations 2012, regulation 4, 21*

Permit number  
BPC25/1707

### 1. Builder details

Builder's name

CH Carpentry Pty Ltd  
10 Caprice Place  
HEATHRIDGE WA 6027

Street address  
(provide lot number  
where street number  
is not known)

Unit no	Street no	Level	Lot no
Street name		Street type	Street suffix
Suburb	State	Postcode	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Registration number or owner-builder  
approval number (if applicable)

0

### 2. Details of building work

Property street  
address (provide lot  
number where street  
number is not known)

Unit no	Street no 18	Level	Lot no 752
Street name MacLeay		Street type Drive	Street suffix
Suburb PADBURY		State WA	Postcode 6025

Nature of the building  
work

PATIO

Stage(s) of work

Proposed Patio.

BCA class of the  
building

Main BCA class  
10a

Secondary BCA class (for multi-purpose  
buildings)

Use(s) of the building

Non Habitable Building

Each restriction on use (if applicable)

Estimated value of  
building work (as  
determined by permit  
authority)

\$15000.00

### 3. Applicable certificate of design compliance

#### Certificate of design compliance issued by:

Building surveying contractor/public authority's name	Specialised Building Solutions Pty Ltd	
Phone/fax	Phone no 0862094130	Fax
Email address	approvals@specialisedbuildingsolutions.com	Date 03/11/2025

### 4. Permit details

#### All building work permitted by this permit:

1. Must be carried out in accordance with the plans and specifications specified in the applicable certificate of design compliance for this building permit.
2. Must be carried out in accordance with any conditions set out below:

#### Conditions

- During construction of the proposed patio, the existing pool must be protected at all times to comply with the requirements in A.S.1926.1. If a temporary barrier is required to protect the pool it must comply with A.S.1926.1 and it is recommended that you contact the City's swimming pool inspection team to arrange an inspection of the temporary barrier.
- It is the owner's responsibility to ensure the swimming pool/spa safety barrier is in strict accordance with A.S.1926.1 at all times.
- Pool security to be maintained at all times.
- It is the owner/builder's responsibility to pay for any damage caused to the City's infrastructure during the building process. If any damage or disturbance occurs to the City's infrastructure, ensure you contact the City immediately.
- A Notice of Completion (BA7) must be received by the City of Joondalup within seven (7) days on completion of the building works in accordance with s.33 of the Building Act 2011.
- No part of the structure (including footings) shall encroach over a lot boundary. In accordance with the Building Act 2011, if the proposed build work encroach or adversely affect the adjoining owner property, the applicant must obtain a signed BA20 form prior to building work commencing.
- During Building operations, streets, verges, footpaths and public spaces (including right-of-way) are to be maintained clear of obstructions, sand and building materials and maintained in a trafficable condition at all times. It is the responsibility of the Owner/Builder to contact the City for rectification of any damage/disturbance.
- The existing footpath and kerb shall be retained and protected during the construction of the vehicle crossover. It must not be removed or altered.
- Disposal of stormwater must not cause erosion, corrosion, or other defects as a result of the method of disposal. If these are likely to occur, then disposal must be into earthenware or PVC drains which shall empty into a soakwell or other suitable approved stormwater scheme. If discharge of water is to surface, it shall not be allowed to flow to adjoining private or public property.
- A receptacle suitable for the collection and disposal of building work waste must be provided in

accordance with the City's *Waste Local Law 2017*.

- The external finishes of any boundary wall/front fence must be consistent (and maintained) with the external wall of the dwelling unless there is a development approval in place.
- This permit is valid where Water Corporation approval has been granted (where applicable) before commencing work to ensure their infrastructure is maintained and not damaged during building works.
- This permit does not negate the need for the Builder to obtain other approvals (including easements) where required under Legislation.
- All notations in red ink must be complied with.

Advisory Notes (where applicable)

The issuing of this building permit does not negate the need for the responsible person to obtain permission from affected land owners, when it is required, before commencing work.

It is recommended that before undertaking any building work on site that the lot boundaries are identified or seek the services of a licensed land surveyor to re-establish the survey pegs.

This building permit does not constitute development (planning) approval, and where applicable under relevant legislation, separate development approval may be required.

Must comply with the requirements of the City of Joondalup Local Planning Scheme No.3, including the separate requirement to obtain development approval where applicable.

This building permit does not constitute clearance of planning conditions requiring separate works to be undertaken or plans and information to be submitted to the City for approval. Works are to be undertaken and/or separate plans and/or information is required to be submitted to the City's Planning Services and approved separately in accordance with the requirements of the development approval. The issuing of this building permit does not negate the need to have all necessary planning conditions cleared prior to commencing development. For further information contact Planning Services on 9400 4000.

Development shall comply with the requirements of the Health (Miscellaneous Provisions) Act 1911, the Sewerage (Lighting, Ventilation and Construction) Regulations 1971 and the City of Joondalup Health Local Laws 1999.

Under the provisions of the Environmental Protection (Noise) Regulations 1997, restrictions are placed on all activities which are likely to create a noise disturbance to nearby residents. Generally, activities likely to generate noise are prohibited between 7pm & 7am and all day Sunday and Public Holidays, without the approval of the City.

3. Must be inspected and tested as prescribed under section 36(2)(a) of the *Building Act 2011* (refer to the certificate of design compliance for the applicable list of inspections and tests that are to be listed here):

Inspections and tests


N/A.

4. A permit granted to do one or more stages of building work does not automatically entitle a person to be granted a further building permit for any other stage of the building work.

5. This permit is valid for two years from the date of this permit **OR** valid until

Date 18/11/2027
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**Issuing officer**

Name Pauline Whale	Job title Administration Officer Regulatory Services
Signature 	Date 18/11/2025
Permit authority City of Joondalup	

**Permit authority**



## Certificate of design compliance

*Building Act 2011, section 19*  
*Building Regulations 2012, regulation 4, 18A, 18B, 18C*

PERMIT AUTHORITY  
USE ONLY

BUILDING SURVEYING  
USE ONLY

Reference number

Reference number  
**251201.1**

### 1. Property this certificate relates to

Property street  
address (provide lot  
number where street  
number is not  
known)

Unit no	Street no 18	Level	Lot no
Street name Macleay		Street type Drive	Street suffix Dr
Suburb Padbury		State WA	Postcode <b>6025</b>

Local government  
area

Main BCA class of  
the building

Use(s) of the  
building

Description of the  
building(s) and  
building work

City of Joondalup			
Class 10a			
Secondary BCA class (for multi-purpose buildings)		Third BCA class (for multi-purpose buildings)	
Patio		Each restriction on use (if applicable)	
Proposed Patio			

### 2. Applicable building standards

The edition of the Building Code applied in respect of this building or incidental structure

National Construction Code Volume Two 2022 – Amendment 1 & 2

Any declaration under section 39 of the *Building Act 2011* made in respect of this building or incidental structure

N/A

Bush fire prone areas (only required for the types of buildings or incidental structures stated below)

In respect of a Class 1, Class 2 or Class 3 building, a Class 9 vulnerable use building, or a Class 10a building or deck that is located less than six (6) metres from the Class 1, Class 2 or Class 3 building or Class 9 vulnerable use building:

Is the building or deck located in a bush fire prone area? ☐ Yes ☒ No (if no, continue to part 3)

Does a bush fire performance requirement apply to the building or deck?

☐ Yes. The Bushfire Attack Level (BAL) or other measure is: \_\_\_\_\_

☐ No. Does not apply because of: \_\_\_\_\_

(See regulations 15D, 31BA(1) and 31D of the Building Regulations 2012 which affect the application of bush fire performance requirements to buildings and decks)

### 3. Plans, specifications and other documents

Plans and specifications specified in accordance with section 19(3) of the *Building Act 2011*

**All documents referenced below are watermarked by Specialised Building Solutions & bear the reference number - 251201.1**

Drawing numbers

Site plan & elevations stamped by Specialised Building Solutions (3 sheets)

Specifications

SBS Design Compliance Summary dated 03/11/2025 (2 sheets)

Technical documents

Structural Details by B Waddell Consulting Engineers (7 sheets)

### 4. Other prescribed requirements

Details of any advice given by the FES Commissioner in respect of the plans and specifications (Class 2 to Class 9 buildings only)

N/A

Details of any notification given to the FES Commissioner under regulation 15A(1) of the Building Regulations 2012 (Class 2 to Class 9 buildings only)

N/A

Details of each performance solution and the assessment methods used as required under regulation 18A of the Building Regulations 2012 for:

- Class 2 to Class 9 buildings; or
- the bush fire performance requirement for Class 1 buildings in bush fire prone areas.

N/A

### 5. Inspections and tests

List the applicable inspections and tests prescribed under section 36(2)(a) of the *Building Act 2011* (i.e. as prescribed in regulation 27 and Schedule 3 of the Building Regulations 2012)

N/A

## 6. Declaration

1. This building or incidental structure, if completed in accordance with the plans, specifications and technical documents specified in part 3 of this certificate, will comply with each applicable building standard.
2. I have applied the edition of the Building Code specified in part 2 of this certificate in respect of the building or incidental structure.
3. A declaration under section 39 of the *Building Act 2011* that a building standard does not apply or is modified in a way as specified in part 2 of this certificate in respect to this building or incidental structure ☐ has been made or ☒ has not been made.
4. Each performance solution that is relied upon to establish compliance with a building standard is shown on the plans and specifications specified in part 3 of this certificate. Where required, I have made the necessary statements in part 4 of this certificate.
5. Where required by the Building Regulations 2012, plans and specifications provided in sufficient detail to allow assessment of compliance with the FES Commissioner's operational requirements were provided to the FES Commissioner at least 15 business days prior to the date of this certificate.
6. Details of any advice given by the FES Commissioner in respect of the plans and specifications are set out in part 4 of this certificate.
7. I have notified the FES Commissioner of the details of any part of the FES Commissioner's advice that is not incorporated in the plans and specifications specified in part 3 of this certificate and the reasons for not incorporating that advice and details of this notification are set out in part 4 of this certificate.
8. Where this certificate relates to a Class 1, Class 2 or Class 3 building, a Class 9 vulnerable use building or a Class 10a building or deck that is located less than six (6) metres from the Class 1, Class 2 or Class 3 building or Class 9 vulnerable use building, I have made the required statements in part 2 of this certificate in respect to bush fire prone areas.
9. I am an independent building surveyor as defined in section 4 of the *Building Act 2011*.

### Building surveying practitioner's name

Sai Nishanth Bandila

Street address  
(provide lot number where street number is not known)

Unit no 10	Street no 1	Level	Lot no
Street name Irwin		Street type Road	Street suffix
Suburb WANGARA		State WA	Postcode 6065
		Country (if not Australia)	

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

admin@specialisedbuildingsolutions.com

Phone/fax

Phone no  
08 6209 4130

Fax

Registration details

Registration number  
3112

Level  
2

Building surveying practitioner's signature



Date  
3 November 2025

## 7. Certificate issued by

**Building surveying  
contractor / public  
authority's name**

Specialised Building Solutions Pty Ltd

**Street address**  
(provide lot number  
where street number  
is not known)

Unit no 10	Street no 1	Level	Lot no
Street name Irwin		Street type Road	Street suffix
Suburb WANGARA		State WA	Postcode 6065
Country (if not Australia)			

**OR**

**PO Box address**

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

**Email address**

admin@specialisedbuildingsolutions.com


**Phone/fax**

Phone no 08 6209 4130	Fax
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**Registration details  
(contractors only)**

Registration number 2028	Level 1
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**Building surveying  
contractor/public  
authority officer's  
signature**

Name (print) Sai Nishanth Bandila	
Signature 	Date 3 November 2025

LEGEND

POST

EXISTING DWELLING

ATTACHMENT

City of Joondalup

18/11/2025

BPC25/1707

This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012



Specialised Building Solutions

PLANS TO BE READ IN CONJUNCTION WITH SBS DESIGN COMPLIANCE SUMMARY

FULL SPAN

BUILDING DESIGN CONSULTANTS

18 MACLEAY DR  
PADBURY WA 6025

SCALE : 1:200  
DRAWN BY : AW  
DATE : 02/08/2025

REVISION  
1

DRAWING TITLE

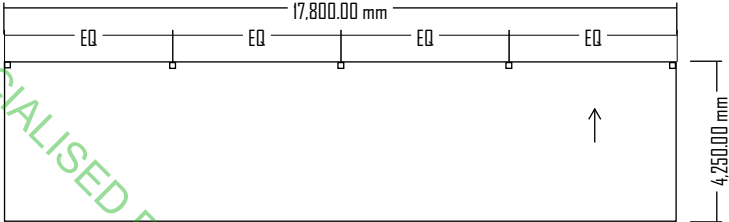
FLOOR PLAN  
EXISTING / PROPOSED

DRAWING NO.  
A 1 - 0 2

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CERTIFIED BY SPECIALISED BUILDING SOLUTIONS - 251201.1 - 03/11/2025



2,000.00 mm  
SCALE




## NOTES - PLANNING

1. COLOUR SCHEDULE PER DOCUMENTATION.
2. NO WORKS IMPACTING REGULATED OR SIGNIFICANT TREES
3. EXIS. TREES OMITTED FOR CLARITY.

## NOTES - BUILDING

1. STORMWATER CAPTURED BY BUILDING DIVERTED TO STREET VIA EXISTING DRAINAGE.
2. DOWNPIPE SERVING NOT MORE THAN 12M GUTTER LENGTH PER NCC 2022.
3. STRUCTURAL DESIGN PER DOCUMENTATION.
4. STUCTURE TO BE BUILT IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATION AND RELEVANT AUSTRALIAN STANDARDS.
5. DOWNPIPE LOCATION TO BE CONFIRMED ON SITE.

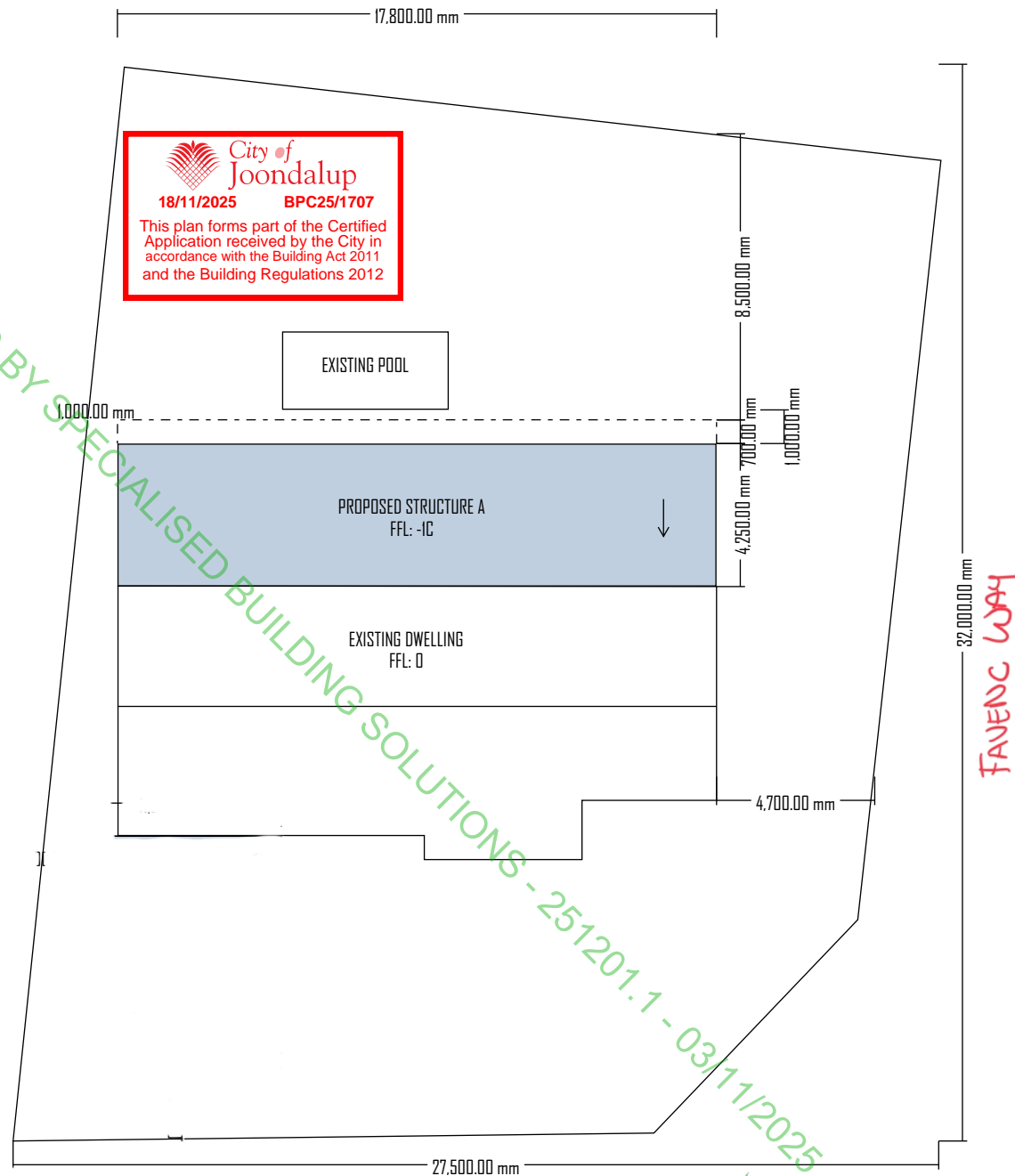
## LEGEND

-  PROPOSED STRUCTURE
-  DOWNPIPE
-  POOL BARRIER



**Specialised Building  
Solutions**

PLANS TO BE READ IN  
CONJUNCTION WITH SBS  
DESIGN COMPLIANCE  
SUMMARY



18 MACLEAY DR  
PADBURY WA 6025

SCALE : 1:200

DRAWN BY: AW

DATE : 26/08/2025

REVISION

0

DRAWING TITLE

**SITE PLAN**  
EXISTING / PROPOSED

DRAWING NO.

**A 1 - 0 1**

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LEGEND

POST

...

EXISTING DWELLING

/ /

ATTACHMENT

City of Joondalup

18/11/2025BPC25/1707

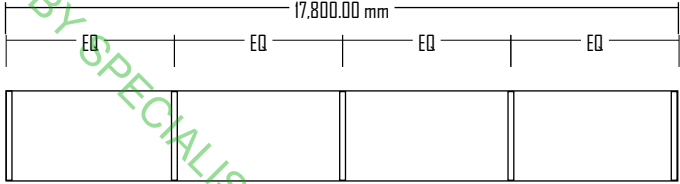
This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012

Specialised Building Solutions

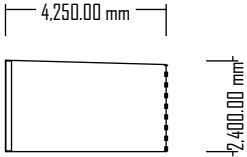
PLANS TO BE READ IN CONJUNCTION WITH SBS DESIGN COMPLIANCE SUMMARY

FULL SPAN

BUILDING DESIGN CONSULTANTS



ELEVATION AA



ELEVATION AB

18 MACLEAY DR  
PADBURY WA 6025

SCALE : 1:200

DRAWN BY : AW

DATE : 02/08/2025

REVISION

1

DRAWING TITLE

ELEVATION

EXISTING / PROPOSED

DRAWING NO.

A 1 - 03



## **SBS Design Compliance Summary**

This specification is to be read in conjunction with the attached Certificate of Design Compliance, final workings drawings, builder's specifications, and any technical certificates (energy efficiency documentation, structural engineers' drawings). Under the requirements of the *Building Act 2011* and *Building Regulations 2012*, this specification provides supplementary compliance notes with regards to the applicable building standard - National Construction Code Volume Two 2022 Amendment 1 and any referenced standards. It is the clients' responsibility to ensure all compliance with the below notes and any conditions imposed on the Permit by the Permit Authority.

**SITE ADDRESS: 18 Macleay Drive, Padbury WA**

**BUILDING CLASSIFICATION: Class 10a**

**DATE: 03/11/2025**

- All construction and materials are to comply with the relevant parts of the National Construction Code, Volume Two 2022 and the referenced Australian Standards.
- Construction certification, details and/or drawings provided are certified by a professional engineer, as per the NCC definition, and deemed to be sufficient evidence of suitability addressing performance requirement H1P1. Construction to be carried out in strict accordance with the Engineers' certification, details and/or drawings.
- The structural integrity of existing retaining walls on the property are to be maintained at all times and the Contractor remains responsible for ensuring that any adjacent structures or retaining walls are protected from instability / undermining during, and as a result of construction. If unsure, contact the Structural Engineer for advice.
- An adequate stormwater drainage system must be in place for the drainage of roofs, sub-soil areas where excessive soil moisture problems may occur and from land adjoining and under buildings, in accordance with Part H2D2 of the National Construction Code, Volume Two 2022. Stormwater drainage must be to the satisfaction of the Local Government and designed so that overflow during heavy rain is prevented from flowing back into the building.
- Surface water must be diverted away from the building in accordance with HP3.1.3 of the National Construction Code, Volume Two 2022.
- Site has been classified (as per AS 2870) by a professional engineer and footings/slabs have been designed accordingly to accommodate A, S, M or H sites. Builder to confirm on site and refer to Engineer and this Office where clay, silt or loose sand; landslide; mine subsidence; collapsing soils; soils subject to erosion; abnormal moisture conditions are discovered.
- Footing & slab construction including foundations, fills, vapour barriers, steel reinforcement and concrete to be constructed in accordance with National Construction Code 2022, Volume Two, AS 2870 (Residential slabs and footings), AS 2159 (Piling – Design and installation) and AS 3600 (Concrete structures).
- The Aluminium/steel roof, wall and/or floor frame is to be constructed in accordance with the following Australian Standards:





- (i) AS 1170.1 - Loading Code - Dead and Live
- (ii) AS/NZS 1664.1
- (iii) AS/NZS 1664.2
- (iv) AS 4055 - Wind Loads for Housing
- (v) AS 4100 - Steel structures
- (vi) AS/NZS 4600 - Cold Formed Steel Structures
- (vii) NASH Standard Part 1 & Part 2.



- Metal sheet roofing must be protected from corrosion in accordance with Table 3.5.1.1 of National Construction Code, Volume Two 2022 and where different metals are used in a roofing system, they must be compatible with each other as described within Table 7.2.2a - 7.2.2.e.
- All exposed steel is to be galvanised and wall ties to be protected against corrosion in accordance with Housing Provisions 6.3.9 of the National Construction Code 2022, Volume Two.
- Metal sheet roof cladding minimum pitch, maximum span, layout, fixings and flashings are to be installed in accordance with manufacturers specifications and Housing Provisions Part 7.2 of National Construction Code, Volume Two 2022.
- Guttering and downpipes are to be selected and installed in accordance with Parts 7.4.3 - 7.4.5 of the ABCB Housing Provisions Standard. Downpipes are not to serve more than 12m of gutter length per down pipe and be located as close as possible to valley gutters. Alternatively gutter and downpipes can be designed and installed in accordance with AS/NZS 3500.3:2021 in accordance with the variation in NCC 2022 Amendment 1 WA Part F9.
- Where the patio slopes toward existing dwelling, either box gutters are to be provided in accordance with AS/NZS 3500.3 (OR) the proposed patio is to have independent gutters to comply with part H2D6 Roof & Wall Cladding/ Part 7.4 ABCB Housing provisions.
- Any compliant pool safety barriers and/or gates at the property to remain unaltered.

STRUCTURAL NOTES

DESIGN CRITERIA

1. THE FOLLOWING DESIGN DRAWINGS AND DESIGN IS COMPLIANT WITH THE NCC BCA 2022
2. THE FOLLOWING AUSTRALIAN STANDARDS HAVE BEEN USED FOR THE DETERMINATION OF LOADS AND LOAD COMBINATIONS FOR THE DESIGN OF THIS PATIO, INCLUDING:
- AS 1170.0: STRUCTURAL DESIGN ACTIONS - PART 0: GENERAL PRINCIPLES;
  - AS 1170.1: STRUCTURAL DESIGN ACTIONS - PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS;
  - AS 1170.2: STRUCTURAL DESIGN ACTIONS - PART 2: WIND ACTIONS;
  - AS 1170.4: STRUCTURAL DESIGN ACTIONS - PART 4: EARTHQUAKE ACTIONS IN AUSTRALIA;
3. DESIGN WIND CLASSIFICATION TO AS1170.2  
REGION = A1  
TERRAIN CATEGORY = 3  
TOPOGRAPHIC MULTIPLIER = 1.0  
SHIELDING MULTIPLIER = 0.8  
ANNUAL PROBABILITY OF EXCEEDANCE = 1:100 YEARS
4. SITE CLASSIFICATION TO AS2870  
CLASS = A
5. DESIGN OF PATIO MEMBERS IS BASED ON A DEFLECTION CRITERIA OF SPAN ON 250 FOR EDGE BEAMS AND RAFTERS AND SPAN ON 180 FOR PURLINS.

GENERAL

1. READ THIS DRAWING IN CONJUNCTION WITH ARCHITECTURAL AND SERVICE DRAWINGS.
2. DO NOT SCALE FROM DRAWINGS.
3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REQUIREMENTS AS WELL AS LATEST REVISIONS OF THE RELEVANT AUSTRALIAN STANDARD.
4. ALL DIMENSIONS AND SITE CONDITIONS TO BE CHECKED ON SITE BY THE BUILDER, AND THE ENGINEER NOTIFIED OF ANY DISCREPANCIES.
5. ALL DIMENSIONS IN MILLIMETRES U.N.O.

GUTTERS AND DRAINAGE

1. ALL GUTTERS AND BOX GUTTERS TO BE DESIGNED BY OTHERS BUT SHALL COMPLY WITH THE FOLLOWING.
2. ALL GUTTERS AND BOX GUTTERS SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE AND AS/NZS3500.3
3. ALL BOX GUTTERS SHALL HAVE A FREE TO AIR OVERFLOW IN ACCORDANCE WITH AS/NZS3500.3
4. EAVE GUTTERS AND EXTERNAL GUTTERS SHALL BE DESIGNED FOR A 20 YEAR ARI.
5. BOX GUTTERS AND VALLEY GUTTERS SHALL BE DESIGNED FOR A 100 YEAR ARI.
6. MINIMUM WIDTH FOR A RESIDENTIAL BOX GUTTER TO BE 200mm. MINIMUM WIDTH FOR A COMMERCIAL BOX GUTTER TO BE 300mm.

ALUMINIUM

1. ALL ALUMINIUM TO BE ALLOY/TEMPER COMPLYING WITH AS1866 WITH A MINIMUM YIELD STRENGTH OF 120MPa.
2. ALL ALUMINIUM SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH AS1664.
3. ALL ALUMINIUM SECTIONS TO BE PAINTED TO CLIENT SPECIFICATIONS.
4. ALL WELDING SHALL BE TO AS1665. WELDS SHALL BE 2mm CONTINUOUS FILLET U.N.O.
5. ALL ALUMINIUM MEMBERS TO BE ISOLATED FROM CONTACT WITH MILD STEEL OR OTHER DISSIMILAR METALS. ISOLATION TO BE ACHIEVED USING PLASTIC OR RUBBER GASKETS AS REQUIRED.
6. SECTIONS SHALL NOT BE SPLICED OTHER THAN AT JOINTS SHOWN OR OTHERWISE APPROVED BY THE ENGINEER.

CONCRETE

1. ALL CONCRETE SHALL CONFORM TO REQUIREMENTS OF AS3600.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH AND PROPERTIES OF:
- ALL OTHER CONCRETE : N20/20/80
3. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE MIX ON SITE.
4. ALL CONCRETE SHALL BE WELL-VIBRATED.
5. ALL CONCRETE SURFACES SHALL BE CURED BY PONDING FOR 7 DAYS OR BY AN ALTERNATIVE METHOD APPROVED BY THE ENGINEER.
6. CEMENT SHALL BE TYPE GP PORTLAND CEMENT AS PER AS1315.
7. MAXIMUM SLUMP SHALL BE 80mm.
8. COVER TO REINFORCEMENT SHALL BE U.N.O:  
FOOTINGS 65mm

UPLIFT


1. THE PATIO, IF CONNECTED TO AN EXISTING ROOF STRUCTURE WILL PRODUCE ADDITIONAL UPLIFT. THE EXISTING ROOF MAY NEED ADDITIONAL TIE DOWN. SHOULD THE EXISTING ROOF BE TRUSSED, THE ADDITIONAL UPLIFT MUST BE CHECKED AGAINST THE MANUFACTURERS DESIGN. CONTACT ENGINEER IF UNSURE.

IT REMAINS THE BUILDER'S RESPONSIBILITY TO DETERMINE ANY ADDITIONAL TIE DOWN REQUIREMENTS DUE TO THE ADDITION OF A NEW PATIO OR TO CONTACT THE ENGINEER IF UNSURE.

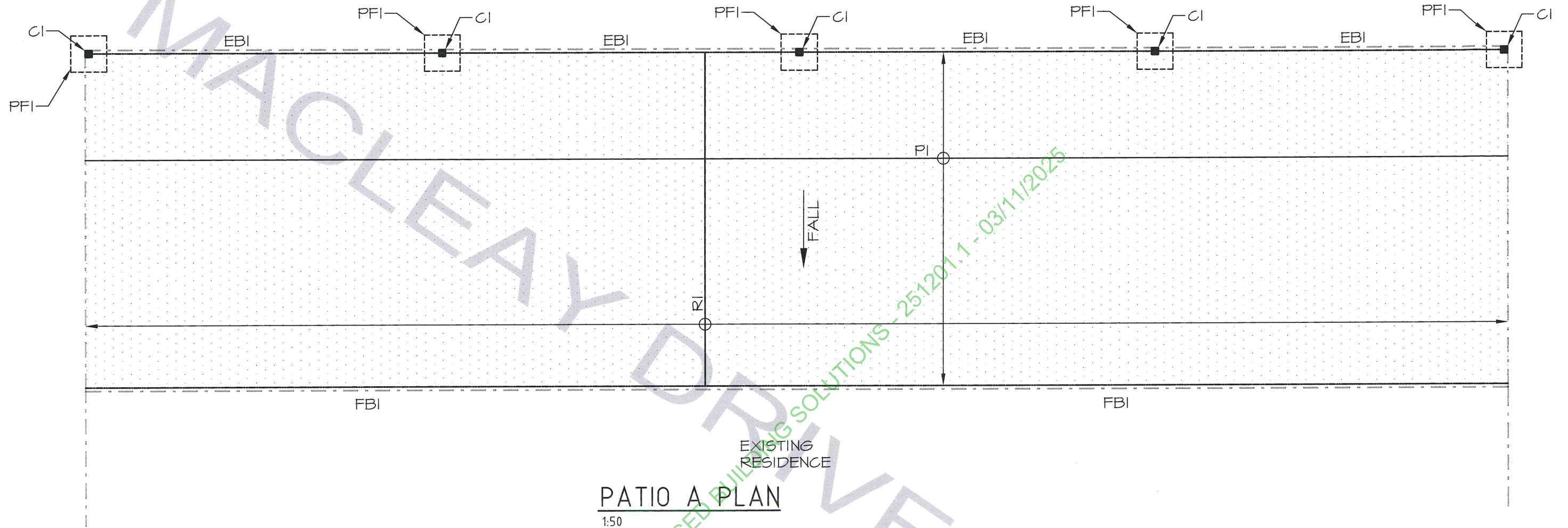


18/11/2025 BPC25/1707


This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS					
				Date SEPTEMBER 2025	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO
				Scale: N.T.S.	Client: SPECIALISED BUILDING SOLUTIONS
A	BSD	25/09/2025	BUILDING LICENCE ISSUE	Job Number: 36224	Drg No: S1
REV	BY	DATE	REVISION DESCRIPTION		





PATIO A PLAN  
1:50



City of Joondalup

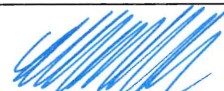

18/11/2025 BPC25/1707


This plan forms part of the Certified Application received by the City in accordance with the Building Act 2011 and the Building Regulations 2012

### MEMBERS SCHEDULE

RI	150x50x2 RHS RAFTERS AT MAX. 2400 CTS.
PI	100x50x2 RHS PURLINS AT MAX. 1200 CTS.
EBI	150x50x2 RHS EDGE BEAM
FBI	150x50x2 RHS FASCIA BEAM
CI	90x2 SHS COLUMNS
PFI	450x450x450 DEEP MASS CONCRETE FOOTING

ABOVE SIZES ARE A MINIMUM REQUIRED. LARGER SIZES MAY BE USED FOR AESTHETIC OR EASE OF INSTALLATION PURPOSES

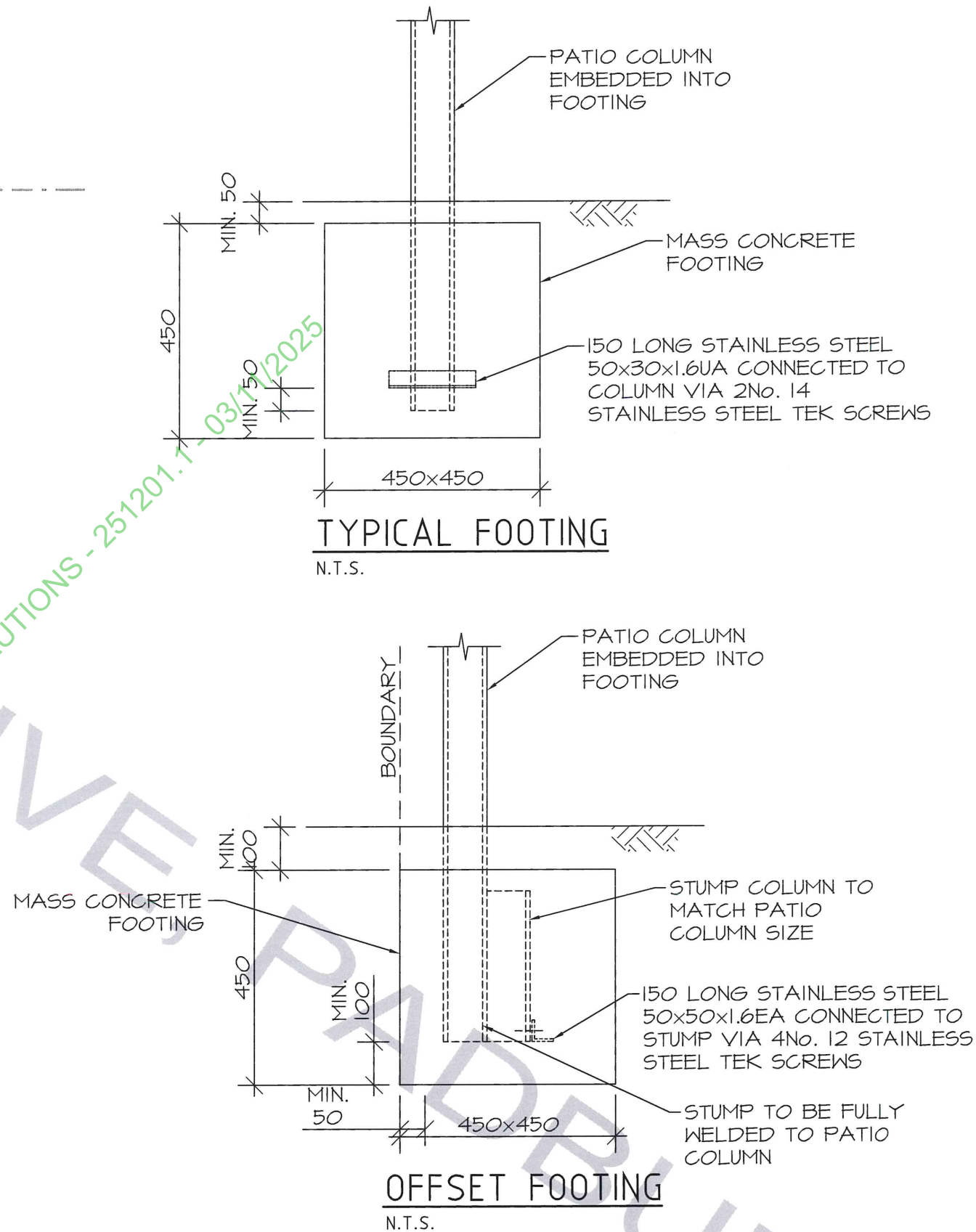
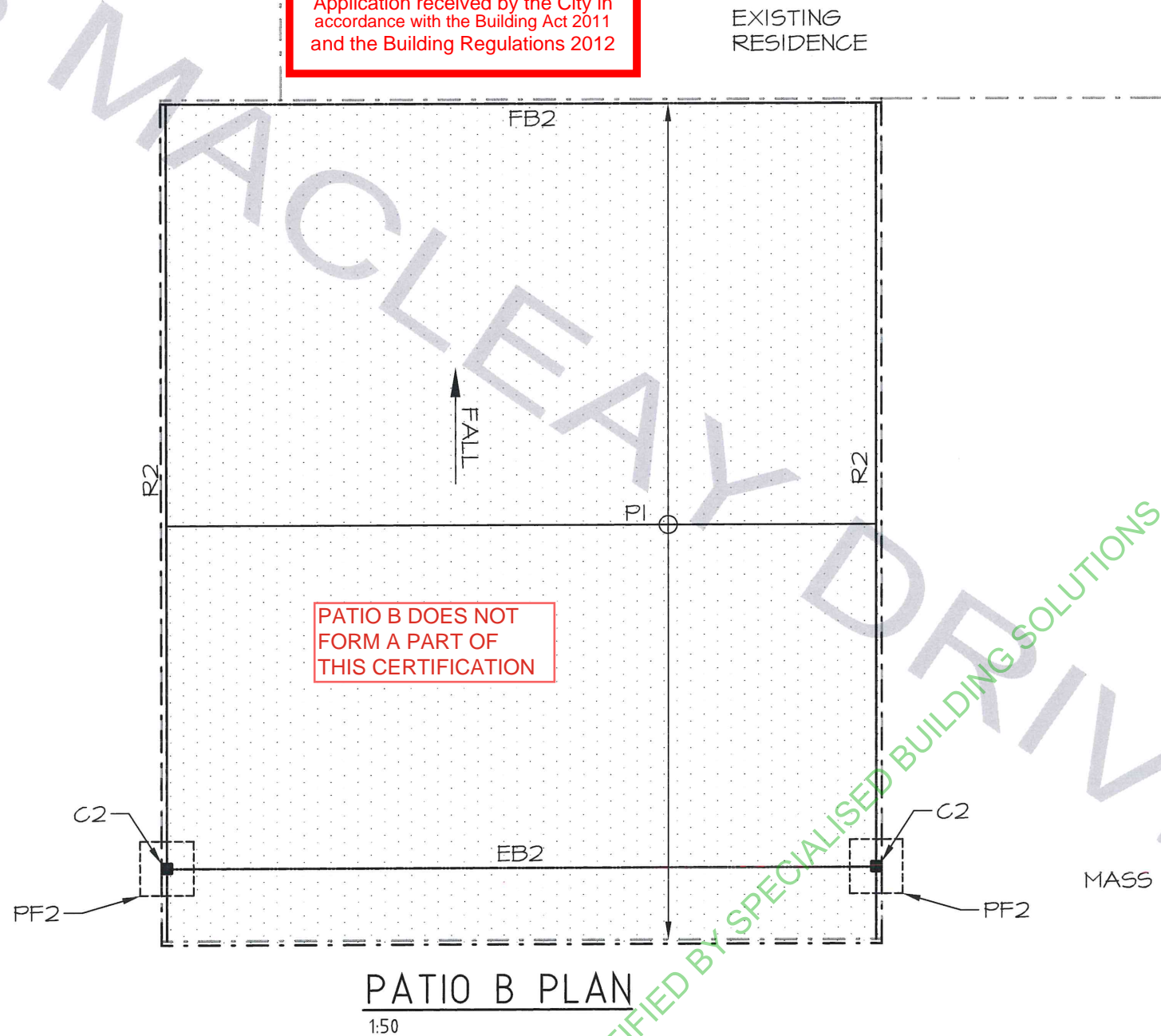
DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				 <b>RONNY GEDEON</b> MPE MIEAust CPEng NER No. 6039301 BEP72 BEC5		 <b>B WADDELL</b> CONSULTING ENGINEERS	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO	JOB NUMBER: 36224
				Date SEPTEMBER 2025				
				Scale: N.T.S.				
A	BSD	25/09/2025	BUILDING LICENCE ISSUE					
REV	BY	DATE	REVISION DESCRIPTION					
						Client: SPECIALISED BUILDING SOLUTIONS		Drg No: S2



City of Joondalup

18/11/2025    BPC25/1707

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MEMBERS SCHEDULE

- R2

200x50x3 RHS RAFTERS
- P2

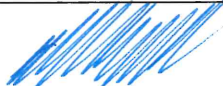

150x50x2 RHS PURLINS AT MAX. 1200 CTS.
- EB2

150x50x2 RHS EDGE BEAM
- FB2

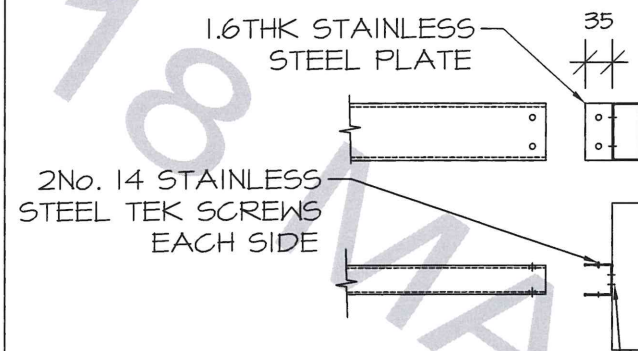
150x50x2 RHS FASCIA BEAM
- C2

90x2 SHS COLUMNS
- PF2

450x450x450 DEEP MASS CONCRETE FOOTING
- ABOVE SIZES ARE A MINIMUM REQUIRED. LARGER SIZES MAY BE USED FOR AESTHETIC OR EASE OF INSTALLATION PURPOSES

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				 RONNY GEDEON MPE MIEAust CPEng NER No. 6039301 BEP72 BEC5	 <b>B WADDELL</b> CONSULTING ENGINEERS	
			Date SEPTEMBER 2025	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO	JOB NUMBER: 36224	
A	BSD	25/09/2025	BUILDING LICENCE ISSUE	Scale: N.T.S.	Client: SPECIALISED BUILDING SOLUTIONS	Drg No: S3
REV	BY	DATE	REVISION DESCRIPTION			



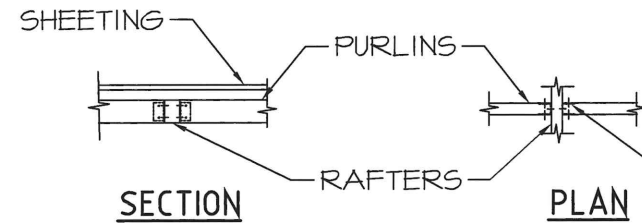


NOTE: BRACKET WIDTH AND HEIGHT TO SUIT MEMBER DIMENSIONS

4No. 14 STAINLESS STEEL TEK SCREWS

### TYPICAL INTERNAL BRACKET CONNECTIONS

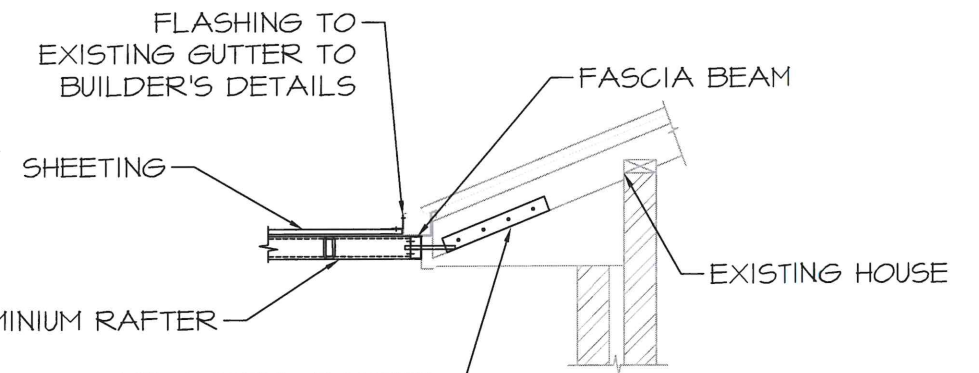
N.T.S.



### TYPICAL PURLIN CONNECTION

N.T.S.

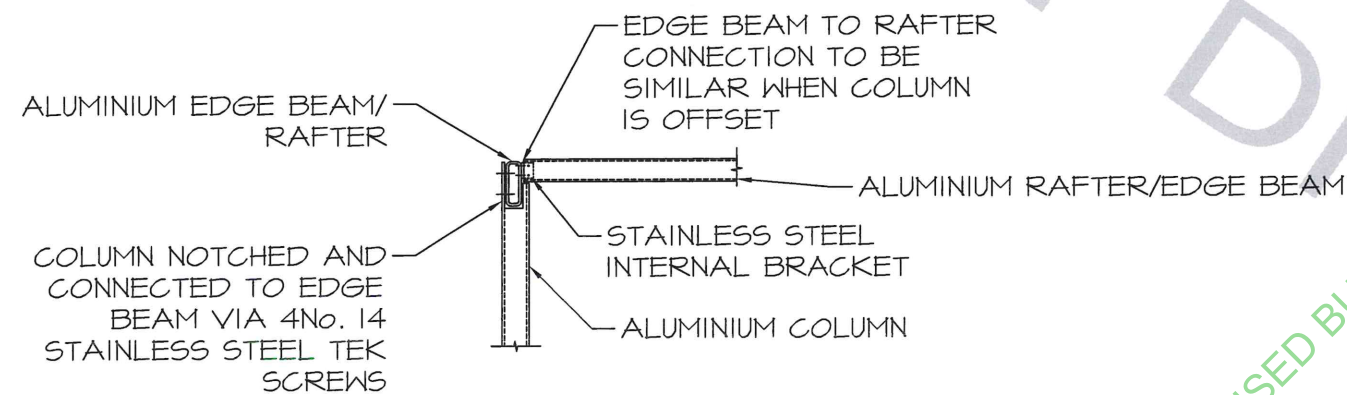
2No. 12 STAINLESS STEEL TEK SCREWS TO 1.6 INTERNAL STAINLESS STEEL U CLEAT



MILD STEEL RAFTER BRACKETS EVERY 3RD RAFTER (MAX 1800 CTS.)

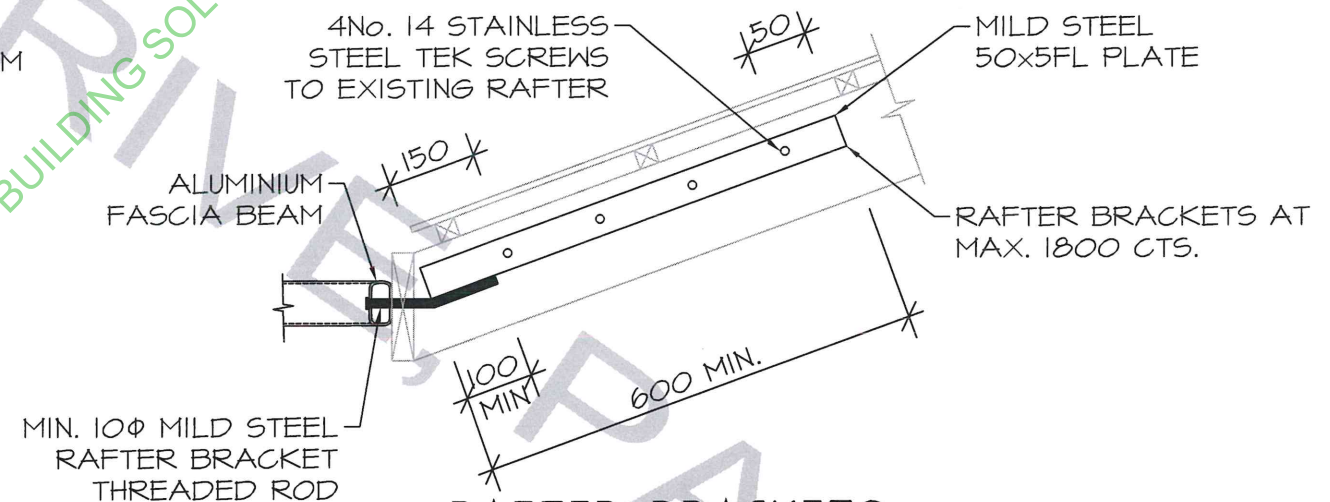
### RAFTER TO EAVE CONNECTION

N.T.S.



### BEAM TO COLUMN CONNECTION

N.T.S.



### RAFTER BRACKETS


N.T.S.

REFER NOTE 5 FOR ISOLATION BETWEEN ALUMINIUM AND STEEL



18/11/2025 BPC25/1707

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DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS					
				RONNY GEDEON MPE MIEAust CPEng NER No. 6039301 BEP72 BECS	Address: 18 MACLEAY DRIVE, PADBURY PROPOSED PATIO
				Date	Client: SPECIALISED BUILDING SOLUTIONS
				SEPTEMBER 2025	
				Scale: N.T.S.	Drg No: S4
A	BSD	25/09/2025	BUILDING LICENCE ISSUE		
REV	BY	DATE	REVISION DESCRIPTION		

- NOTES - PLANNING
1. COLOUR SCHEDULE PER DOCUMENTATION.
  2. NO WORKS IMPACTING REGULATED OR SIGNIFICANT TREES
  3. EXIS. TREES OMITTED FOR CLARITY.

- NOTES - BUILDING
1. STORMWATER CAPTURED BY BUILDING DIVERTED TO STREET VIA EXISTING DRAINAGE.
  2. DOWNPIPE SERVING NOT MORE THAN 12M GUTTER LENGTH PER NCC 2022.
  3. STRUCTURAL DESIGN PER DOCUMENTATION.
  4. STUCTURE TO BE BUILT IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATION AND RELEVANT AUSTRALIAN STANDARDS.
  5. DOWNPIPE LOCATION TO BE CONFIRMED ON SITE.

LEGEND

PROPOSED STRUCTURE

DP

 DOWNPIPE

---

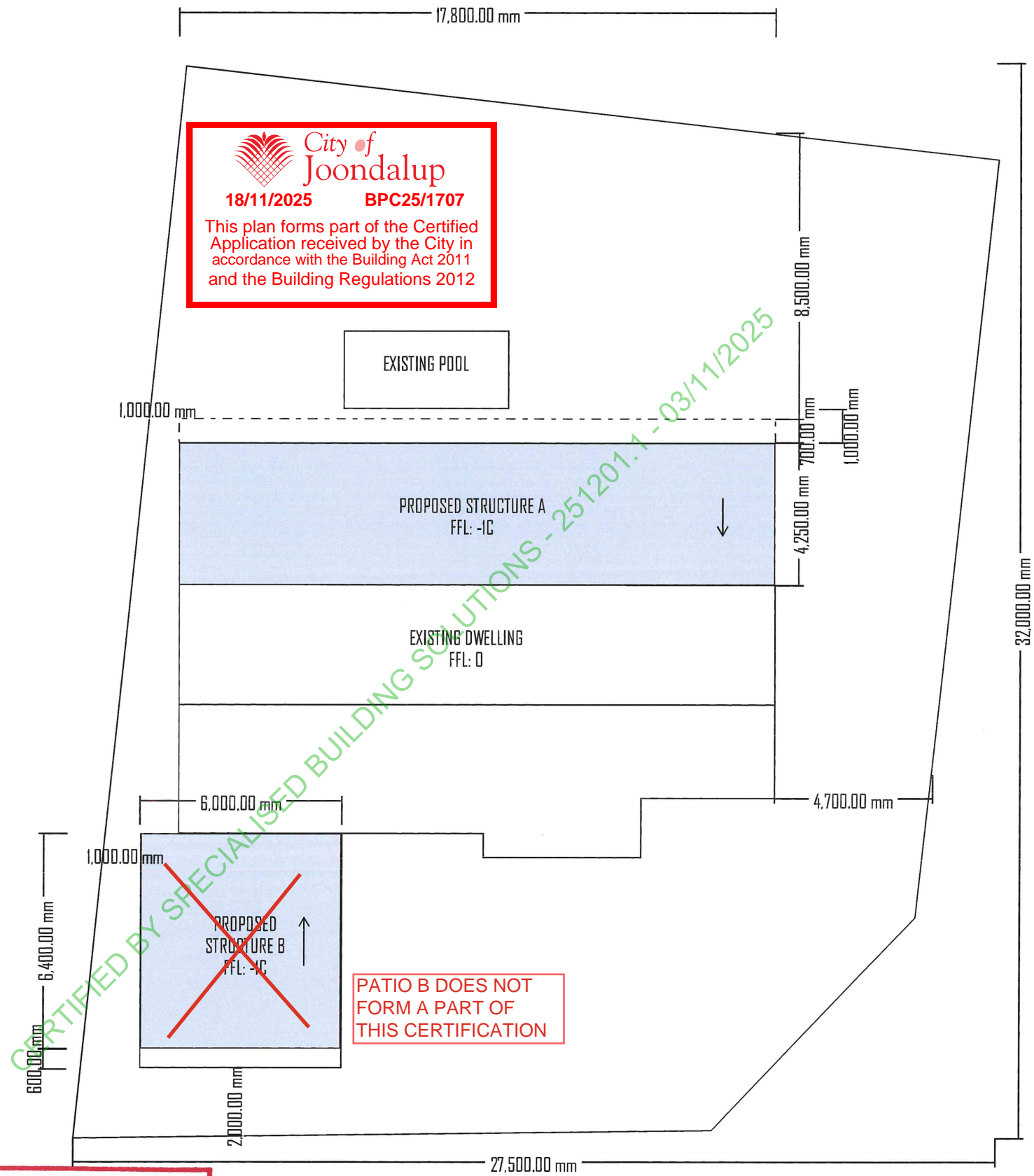
 POOL BARRIER



*2/10/25*

**Ronny Gedeon**

MPE MIEAust CPEng  
NER No 6039301  
B. Waddell Consulting Engineers Pty Ltd  
BWCE Ref: 36224



18 MACLEAY DR  
PADBURY WA 6025

SCALE : 1:200  
DRAWN BY : AW  
DATE : 26/08/2025




REVISION  
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DRAWING TITLE  
SITE PLAN  
EXISTING / PROPOSED

DRAWING NO.  
A1-01

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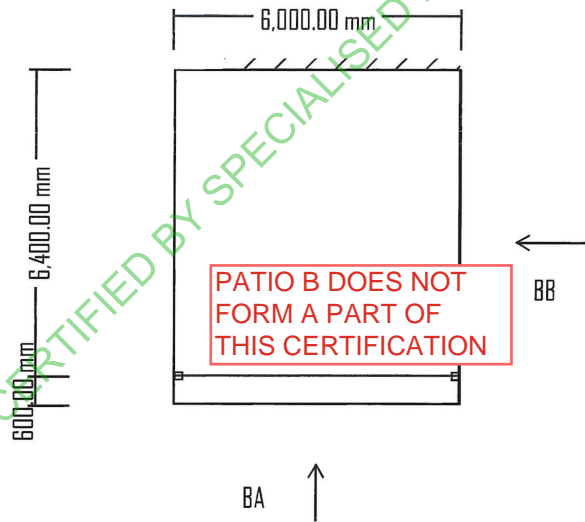
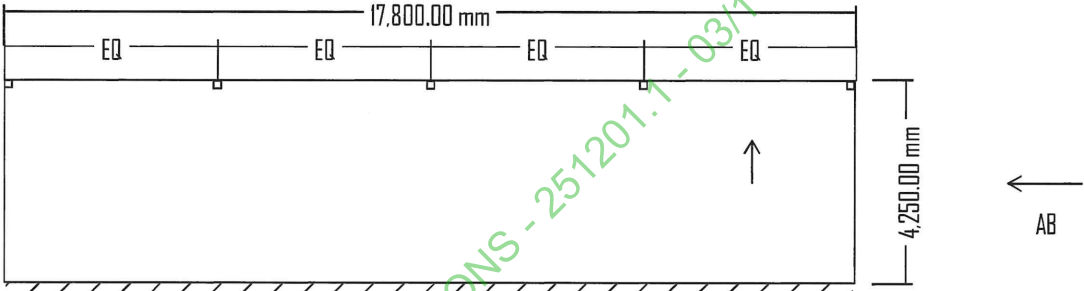
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	ATTACHMENT

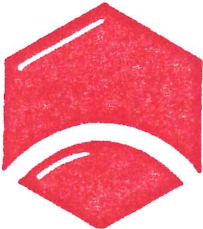


City of  
Joondalup

18/11/2025
BPC25/1707

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Ronny Gedeon
MPE MIEAust CPEng
NER No 6039301
B. Waddell Consulting Engineers Pty Ltd
BWCE Ref: 36224


2/10/25

2,000.00 mm

SCALE



FULL SPAN
BUILDING DESIGN  
CONSULTANTS



18 MACLEAY DR  
PADBURY WA 6025

SCALE : 1:200

DRAWN BY : AW

DATE : 02/08/2025

REVISION

1

DRAWING TITLE

FLOOR PLAN

EXISTING / PROPOSED

DRAWING NO.

A 1 - 0 2

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LEGEND

POST

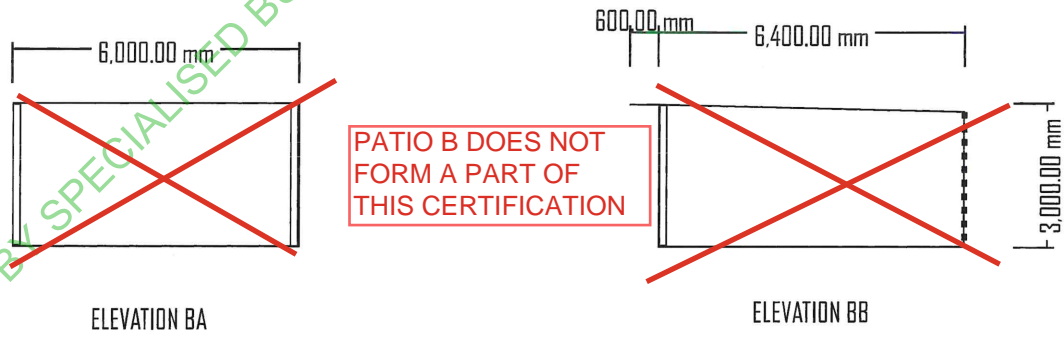
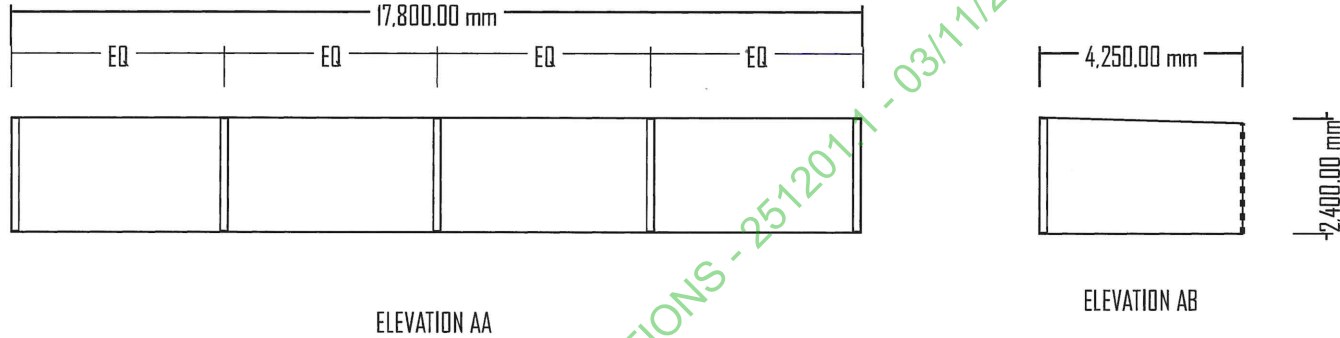
EXISTING DWELLING

ATTACHMENT

City of Joondalup

18/11/2025    BPC25/1707

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Ronny Gedeon

MPE MIEAust CPEng  
NER No 6039301  
B. Waddell Consulting Engineers Pty Ltd  
BWCE Ref: 36224

2/10/25

2,000.00 mm  
SCALE

FULL SPAN

BUILDING DESIGN CONSULTANTS

18 MACLEAY DR  
PADBURY WA 6025

SCALE : 1:200  
DRAWN BY : AW  
DATE : 02/08/2025

REVISION  
1

DRAWING TITLE  
ELEVATION  
EXISTING / PROPOSED

DRAWING NO.  
A 1 - 03

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