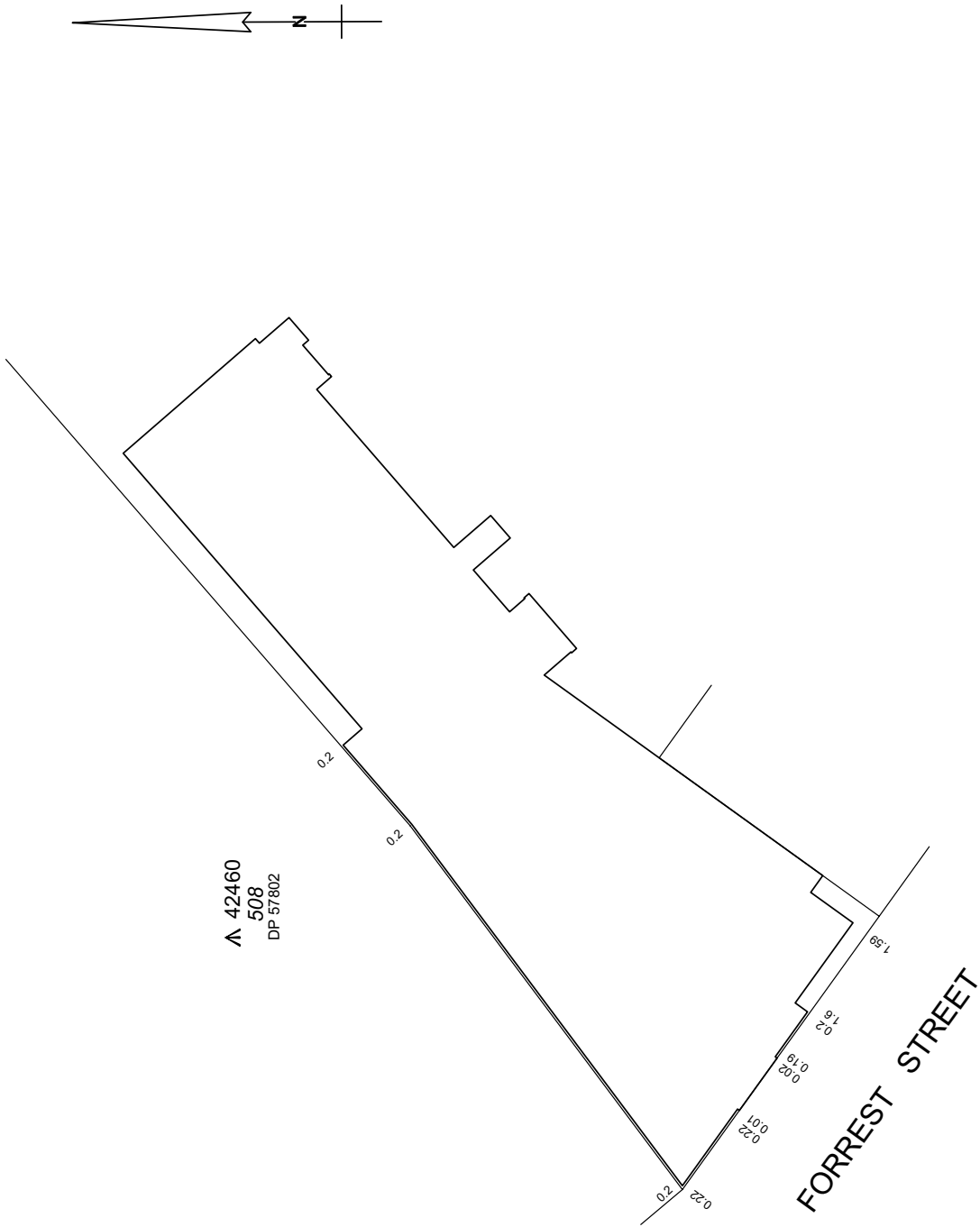
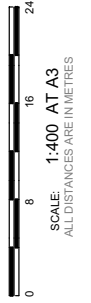


STRATA PLAN
43221
SHEET 2 OF 15 SHEETS



Λ 42460
508
DP 57802



BASEMENT FLOOR LOCATION PLAN
SCALE 1 : 400

REF: 31612/1576

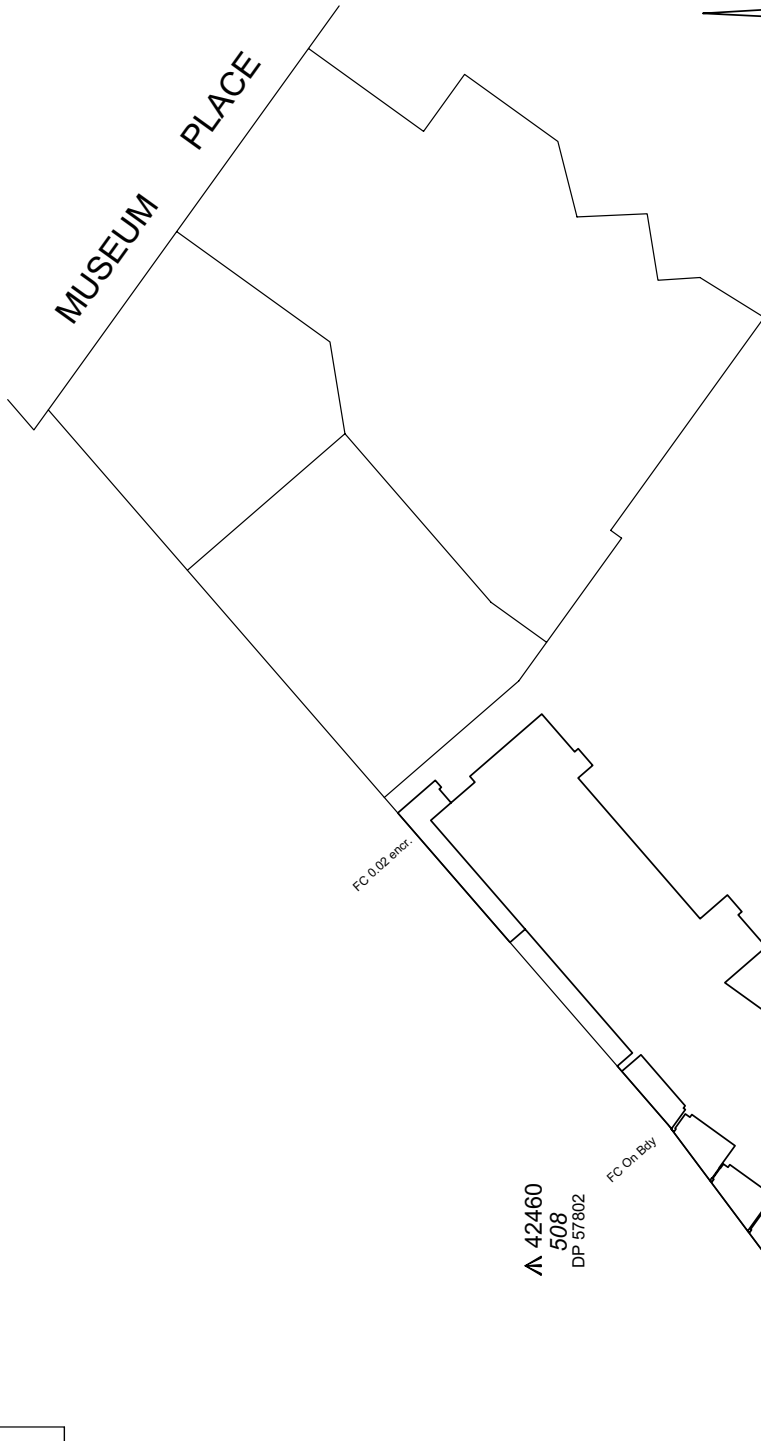
DRAWN BY:



SURVEYORS & PLANNERS
HILLE, THOMPSON & DELOS

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STRATA PLAN
43221
SHEET 3 OF 15 SHEETS



▲ 42460
508
DP 57802

FC - Denotes edge of concrete (floor slab)

GROUND FLOOR LOCATION PLAN

SCALE 1 : 600



SCALE: 1:600 AT A3
ALL DISTANCES ARE IN METRES

FORREST STREET

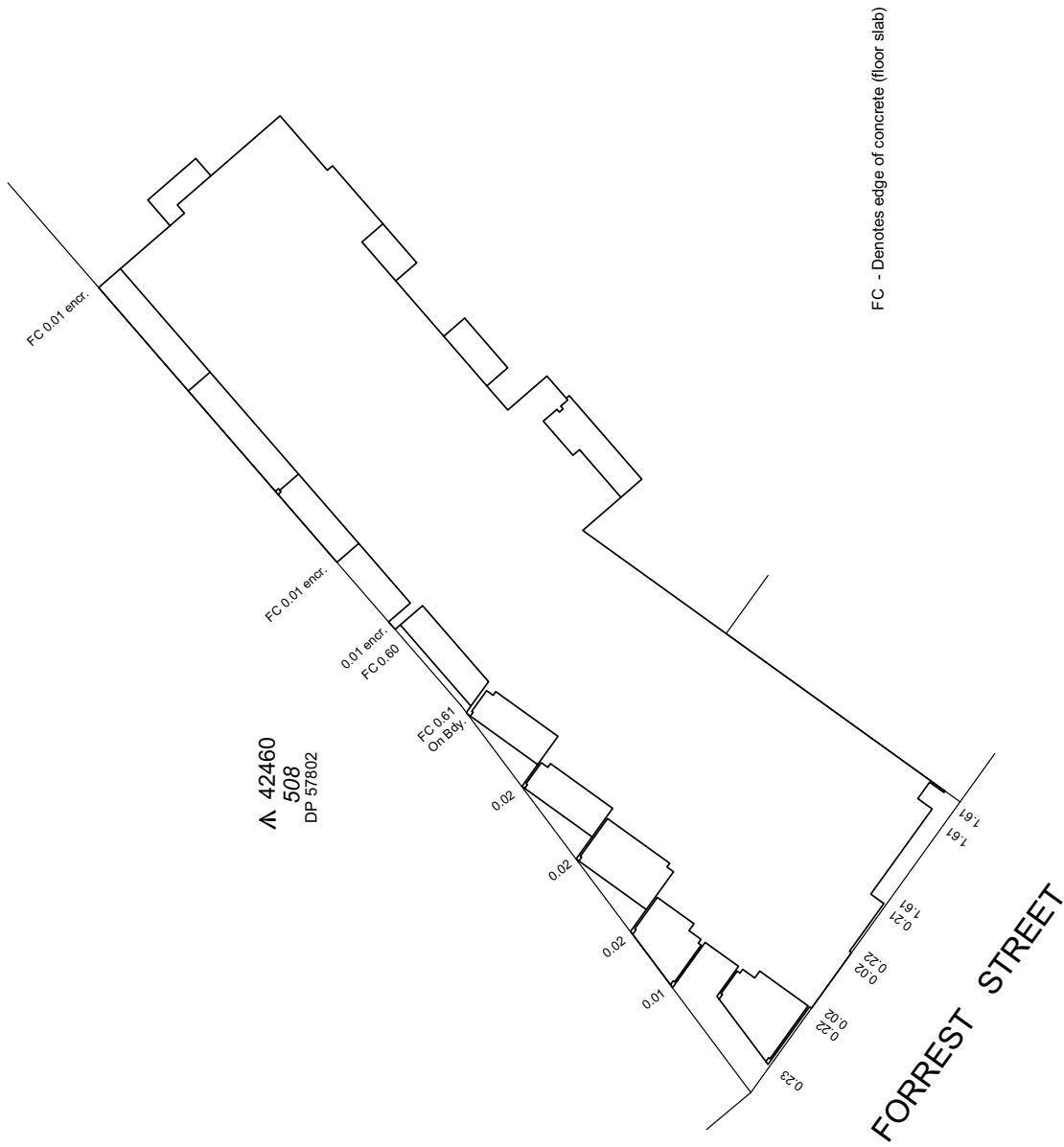
REF: 31612/1576
DRAWN BY:



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STRATA PLAN
43221
SHEET 4 OF 15 SHEETS



REF: 316/12/1576
DRAWN BY:



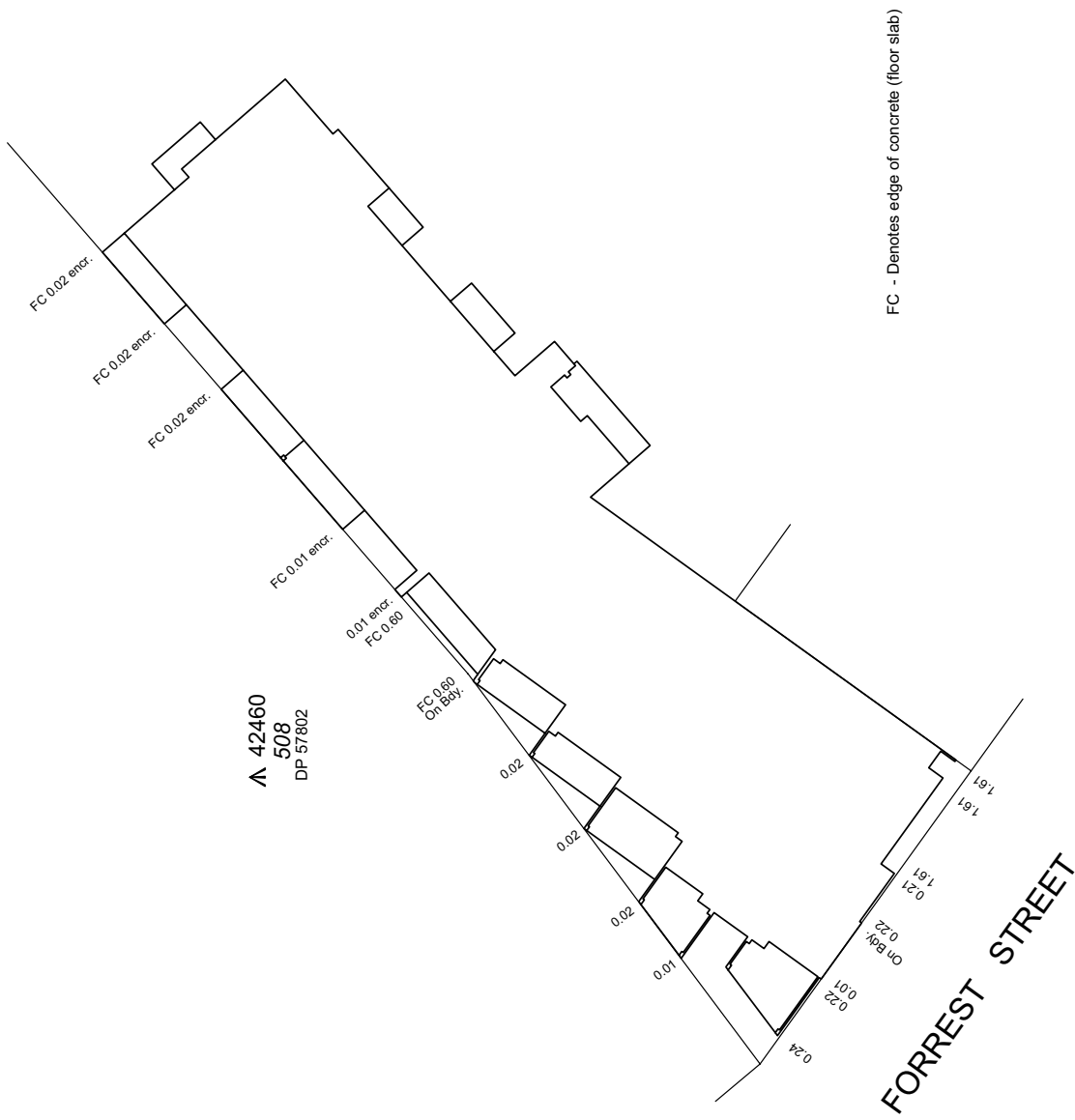
HTP
SURVEYORS & PLANNERS
HILLE, THOMPSON & DELFOS

PO Box 820, GERALDTON WA 6531
Ph: (08) 9921 3111 Fax: (08) 9921 8072

FIRST FLOOR LOCATION PLAN
SCALE 1 : 400

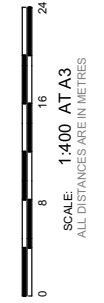


STRATA PLAN
43221
SHEET 5 OF 15 SHEETS



▲ 42460
508
DP 57802

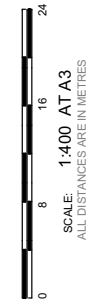
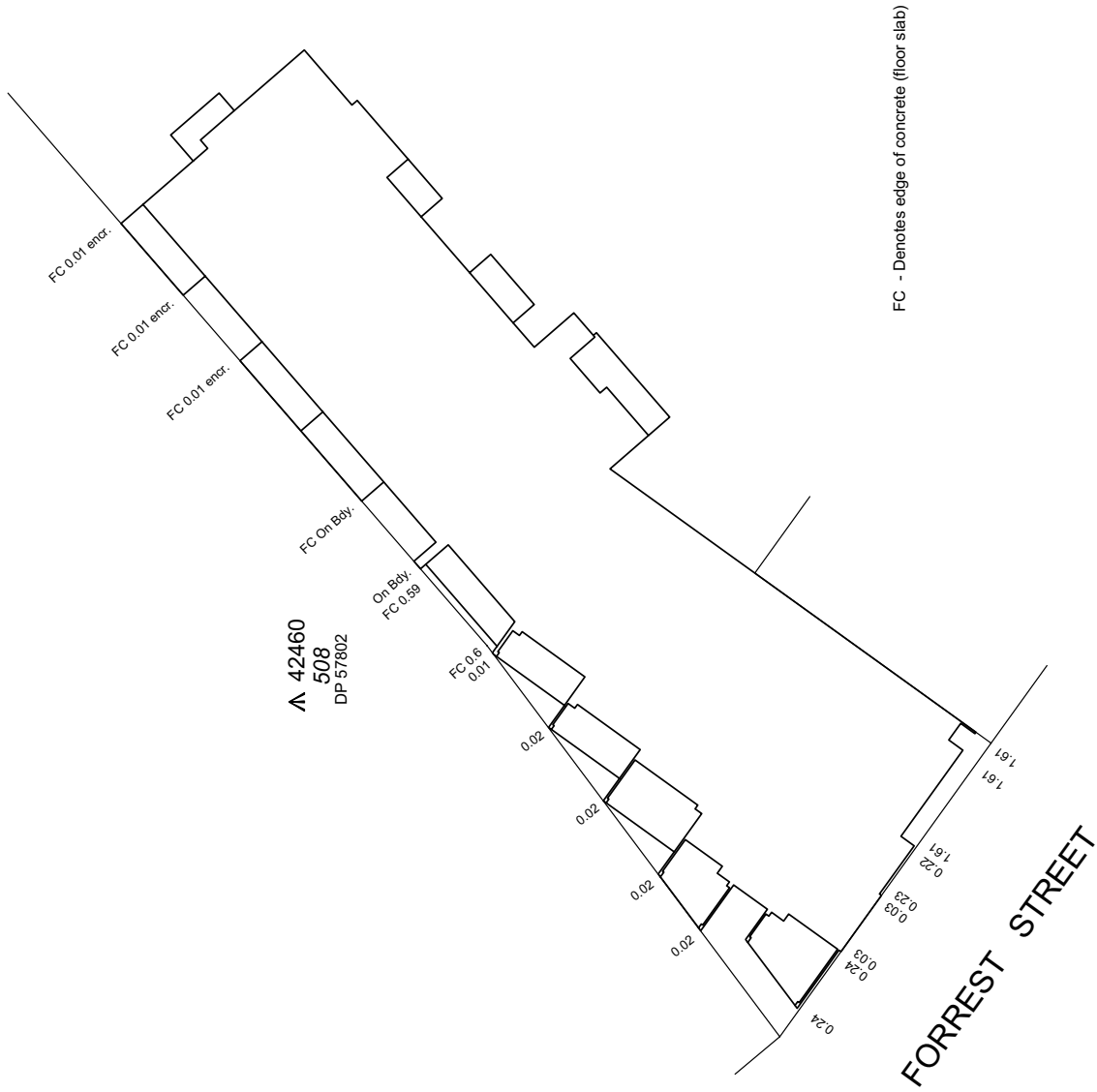
FC - Denotes edge of concrete (floor slab)



SECOND FLOOR LOCATION PLAN
SCALE 1 : 400

REF: 31612/1576
DRAWN BY:
HDP
SURVEYORS & PLANNERS
HILLE, THOMPSON & DELFOS
PO Box 820, GERALDTON WA 6531
Ph: (08) 9921 3111 Fax: (08) 9921 8072

STRATA PLAN
43221
SHEET 6 OF 15 SHEETS

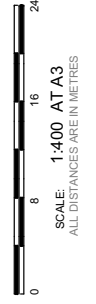
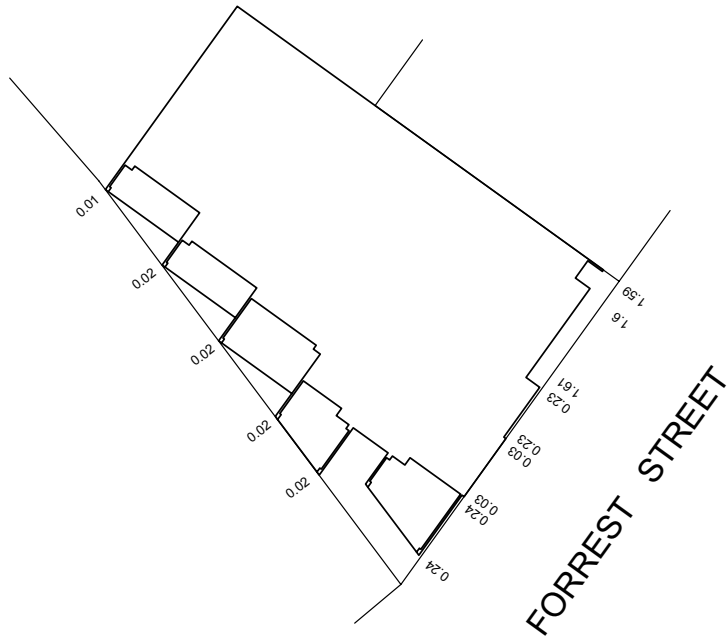


THIRD FLOOR LOCATION PLAN
SCALE 1 : 400

REF: 31612/1576
DRAWN BY:
HTP
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HILLE, THOMPSON & DELFOS
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Ph: (08) 9921 3111 Fax: (08) 9921 8072

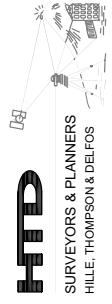
STRATA PLAN
43221
SHEET 7 OF 15 SHEETS

Λ 42460
508
DP 57802



FOURTH FLOOR LOCATION PLAN
SCALE 1 : 400

REF: 316/12/1576
DRAWN BY:

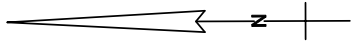


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SURVEYORS & PLANNERS
HILLE, THOMPSON & DELFOS

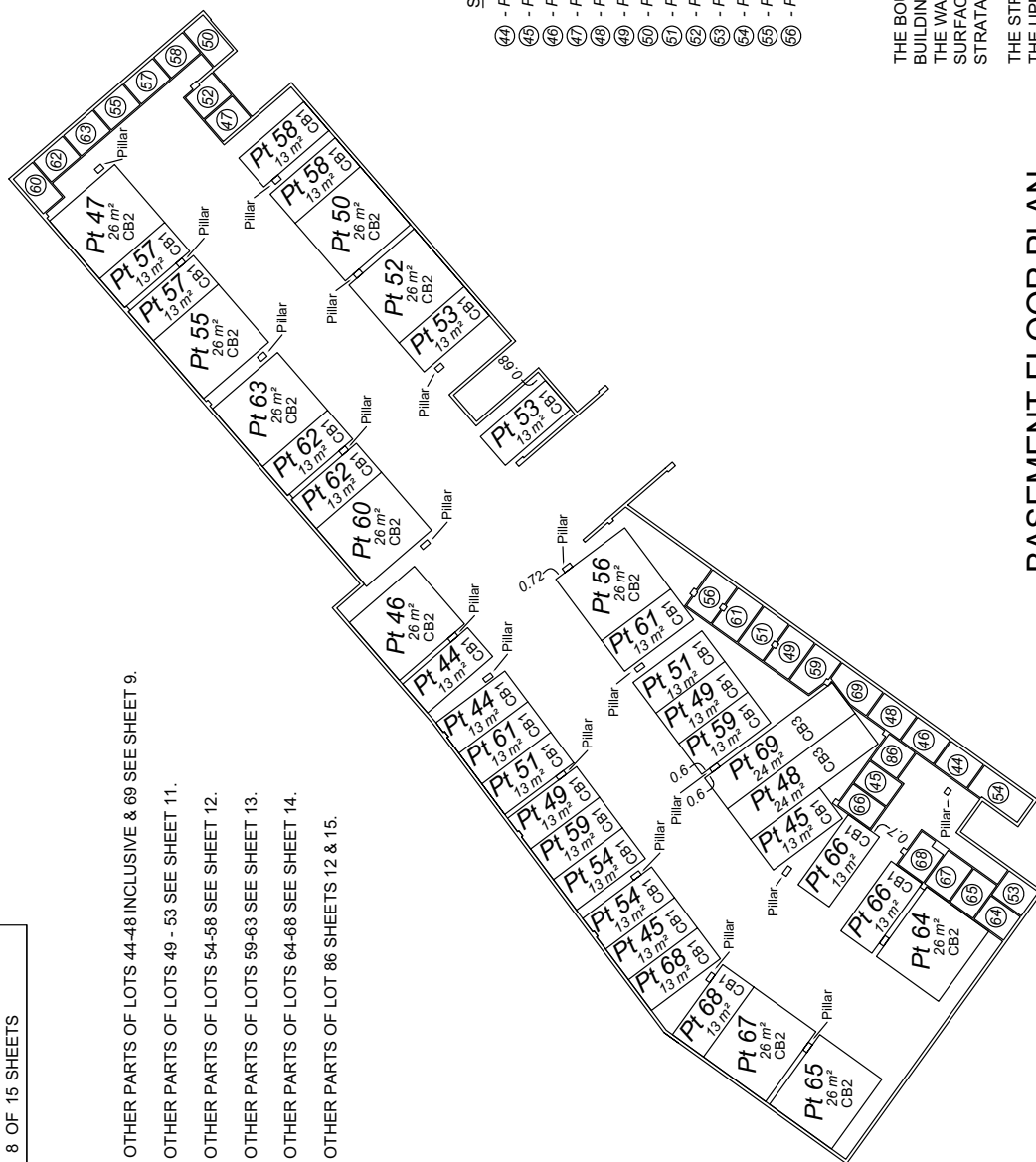
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Ph: (08) 9921 3111 Fax: (08) 9921 8072

STRATA PLAN
43221
SHEET 8 OF 15 SHEETS

FOR OTHER PARTS OF LOTS 44-48 INCLUSIVE & 69 SEE SHEET 9.
 FOR OTHER PARTS OF LOTS 49 - 53 SEE SHEET 11.
 FOR OTHER PARTS OF LOTS 54-58 SEE SHEET 12.
 FOR OTHER PARTS OF LOTS 59-63 SEE SHEET 13.
 FOR OTHER PARTS OF LOTS 64-68 SEE SHEET 14.
 FOR OTHER PARTS OF LOT 86 SHEETS 12 & 15.



CB1 = CARBAY 2.4m x 5.4m
 CB2 = CARBAY 4.8m x 5.4m
 CB3 = CARBAY 2.4m x 10m



STORE ROOM ALLOCATIONS

- ④④ - Pt 44 4m²
- ④⑤ - Pt 45 4m²
- ④⑥ - Pt 46 4m²
- ④⑦ - Pt 47 4m²
- ④⑧ - Pt 48 4m²
- ④⑨ - Pt 49 5m²
- ⑤① - Pt 51 5m²
- ⑤② - Pt 52 4m²
- ⑤③ - Pt 53 4m²
- ⑤④ - Pt 54 6m²
- ⑤⑤ - Pt 55 4m²
- ⑤⑥ - Pt 56 5m²
- ⑤⑦ - Pt 57 4m²
- ⑤⑧ - Pt 58 4m²
- ⑤⑨ - Pt 59 5m²
- ⑥① - Pt 61 5m²
- ⑥② - Pt 62 4m²
- ⑥③ - Pt 63 4m²
- ⑥④ - Pt 64 4m²
- ⑥⑤ - Pt 65 5m²
- ⑥⑥ - Pt 66 4m²
- ⑥⑦ - Pt 67 5m²
- ⑥⑧ - Pt 68 5m²
- ⑥⑨ - Pt 69 5m²
- ⑥⑩ - Pt 86 4m²

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(a) OF THE STRATA TITLES ACT 1985.

THE STRUTUM OF THE PART LOTS WHICH ARE CARBAYS EXTENDS FROM THE UPPER SURFACE LEVEL OF THEIR FLOOR AND THE UNDER SURFACE OF THEIR CEILING.

ALL PILLARS AND COLUMNS ARE COMMON PROPERTY.

ALL ANGLES ARE 90°.

BASEMENT FLOOR PLAN

SCALE 1 : 300



SCALE: 1:300 AT A3
 ALL DISTANCES ARE IN METRES

REF: 316/12/1576

DRAWN BY:

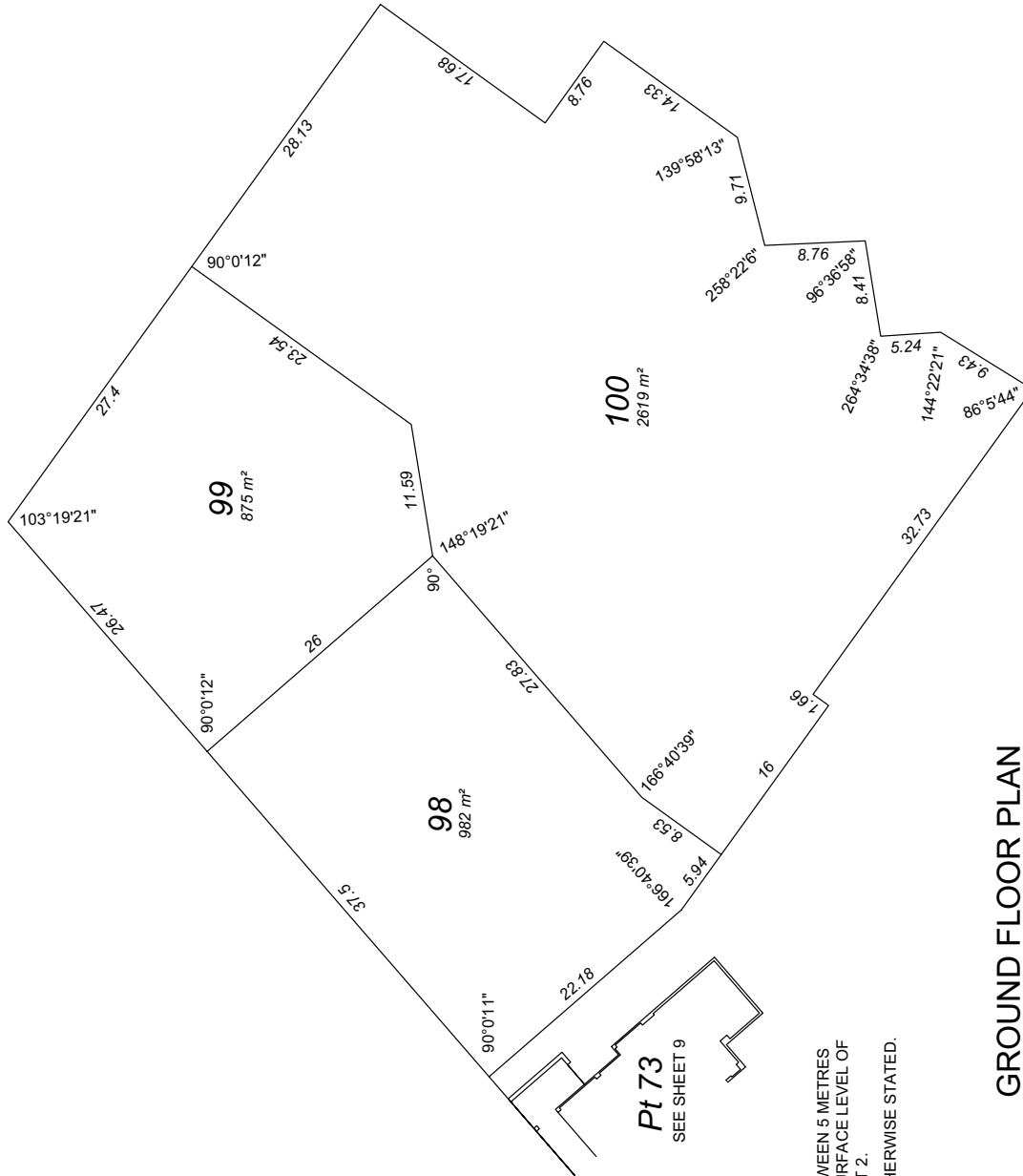


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STRATA PLAN
43221
 SHEET 10 OF 15 SHEETS



THE STRATUM OF LOTS 98 - 100 EXTENDS BETWEEN 5 METRES BELOW AND 20 METRES ABOVE THE UPPER SURFACE LEVEL OF THE GROUND FLOOR OF THE BUILDING ON LOT 2. ANGLES ARE 90 OR 135 DEGREES UNLESS OTHERWISE STATED.

GROUND FLOOR PLAN

SCALE 1 : 400



SCALE: 1:400 AT A3
 ALL DISTANCES ARE IN METRES

REF: 31612/1576

DRAWN BY:

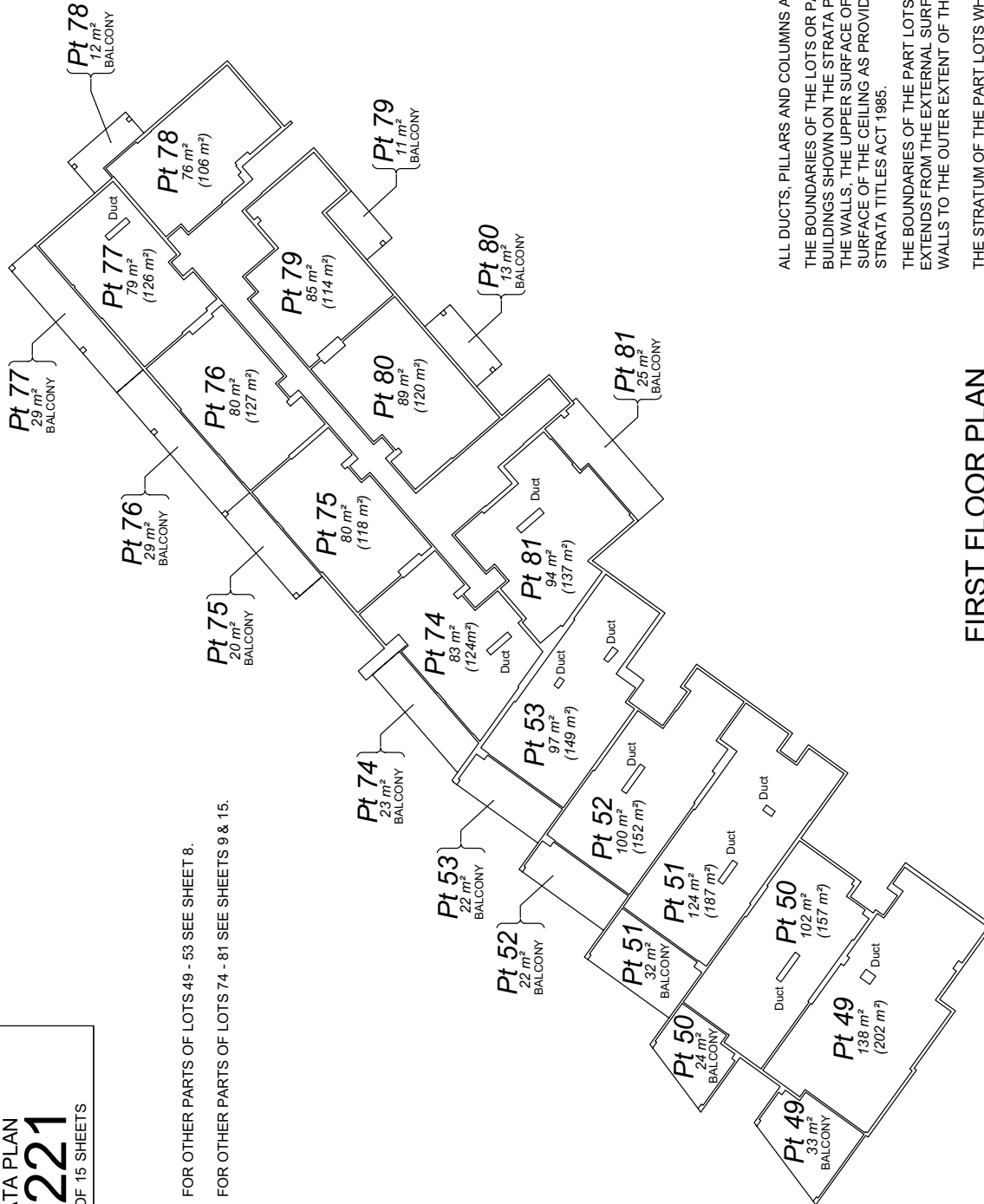


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STRATA PLAN
43221
 SHEET 11 OF 15 SHEETS

FOR OTHER PARTS OF LOTS 49 - 53 SEE SHEET 8.
 FOR OTHER PARTS OF LOTS 74 - 81 SEE SHEETS 9 & 15.



FIRST FLOOR PLAN
 SCALE 1 : 300



SCALE: 1:300 AT A3
 ALL DISTANCES ARE IN METRES

ALL DUCTS, PILLARS AND COLUMNS ARE COMMON PROPERTY.
 THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS. THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(a) OF THE STRATA TITLES ACT 1985.
 THE BOUNDARIES OF THE PART LOTS WHICH ARE BALCONIES EXTENDS FROM THE EXTERNAL SURFACE OF THE BUILDING WALLS TO THE OUTER EXTENT OF THE BALCONY FLOOR SLAB.
 THE STRATUM OF THE PART LOTS WHICH ARE BALCONIES EXTENDS BETWEEN THE UPPER SURFACE OF THEIR FLOOR AND THE UNDER SURFACE OF THEIR CEILING OR THE PROLONGATION OF THE UNDER SURFACE OF THEIR CEILING WHERE NOT COVERED.

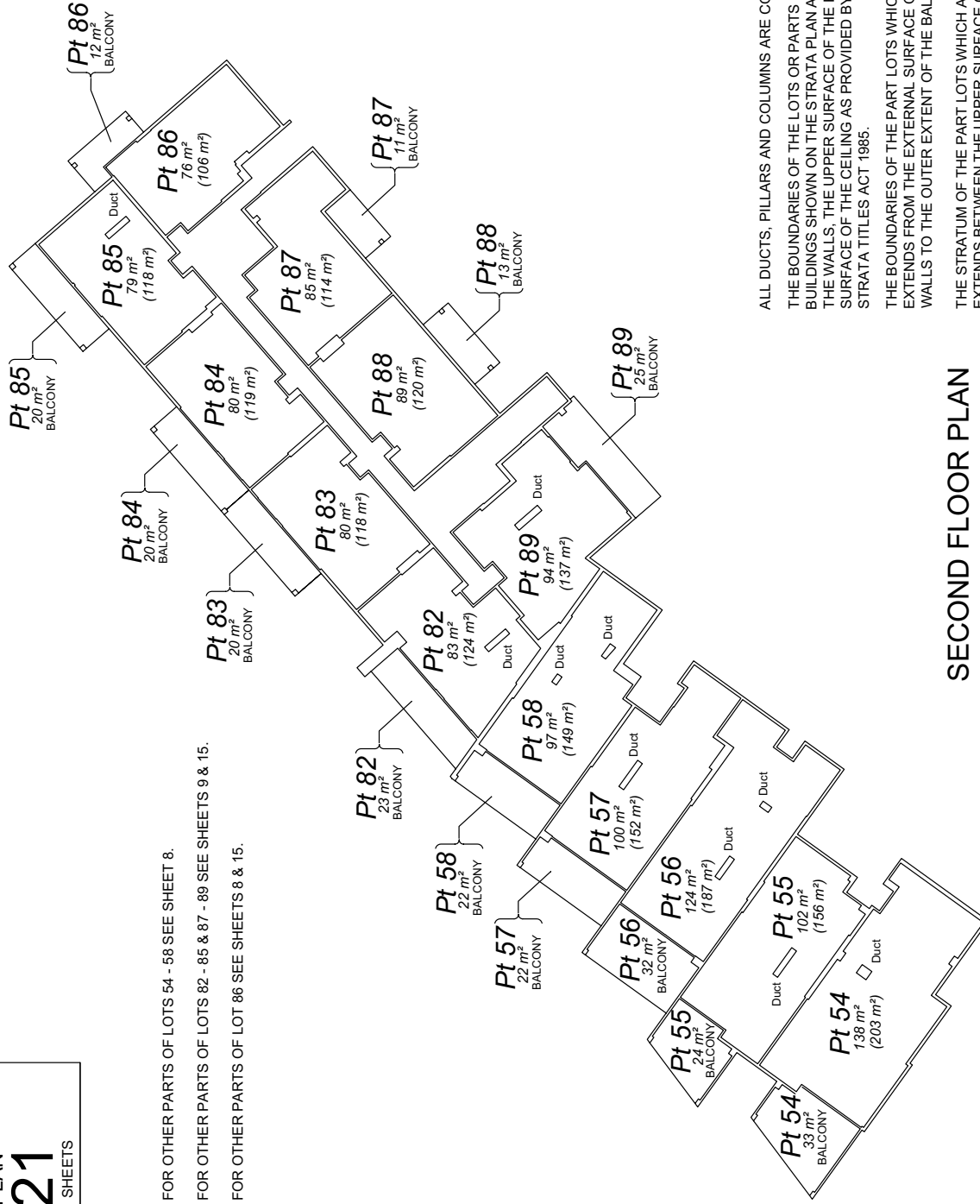
REF: 316/21/576
 DRAWN BY:
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 Ph: (08) 9921 3111 Fax: (08) 9921 8072

STRATA PLAN
43221
 SHEET 12 OF 15 SHEETS

FOR OTHER PARTS OF LOTS 54 - 58 SEE SHEET 8.

FOR OTHER PARTS OF LOTS 82 - 85 & 87 - 89 SEE SHEETS 9 & 15.

FOR OTHER PARTS OF LOT 86 SEE SHEETS 8 & 15.



ALL DUCTS, PILLARS AND COLUMNS ARE COMMON PROPERTY.
 THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS. THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(a) OF THE STRATA TITLES ACT 1985.
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 THE STRATUM OF THE PART LOTS WHICH ARE BALCONIES EXTENDS BETWEEN THE UPPER SURFACE OF THEIR FLOOR AND THE UNDER SURFACE OF THEIR CEILING OR THE PROLONGATION OF THE UNDER SURFACE OF THEIR CEILING WHERE NOT COVERED.

SECOND FLOOR PLAN

SCALE 1 : 300



SCALE: 1:300 AT A3
 ALL DISTANCES ARE IN METRES

REF: 316/12/1576

DRAWN BY:



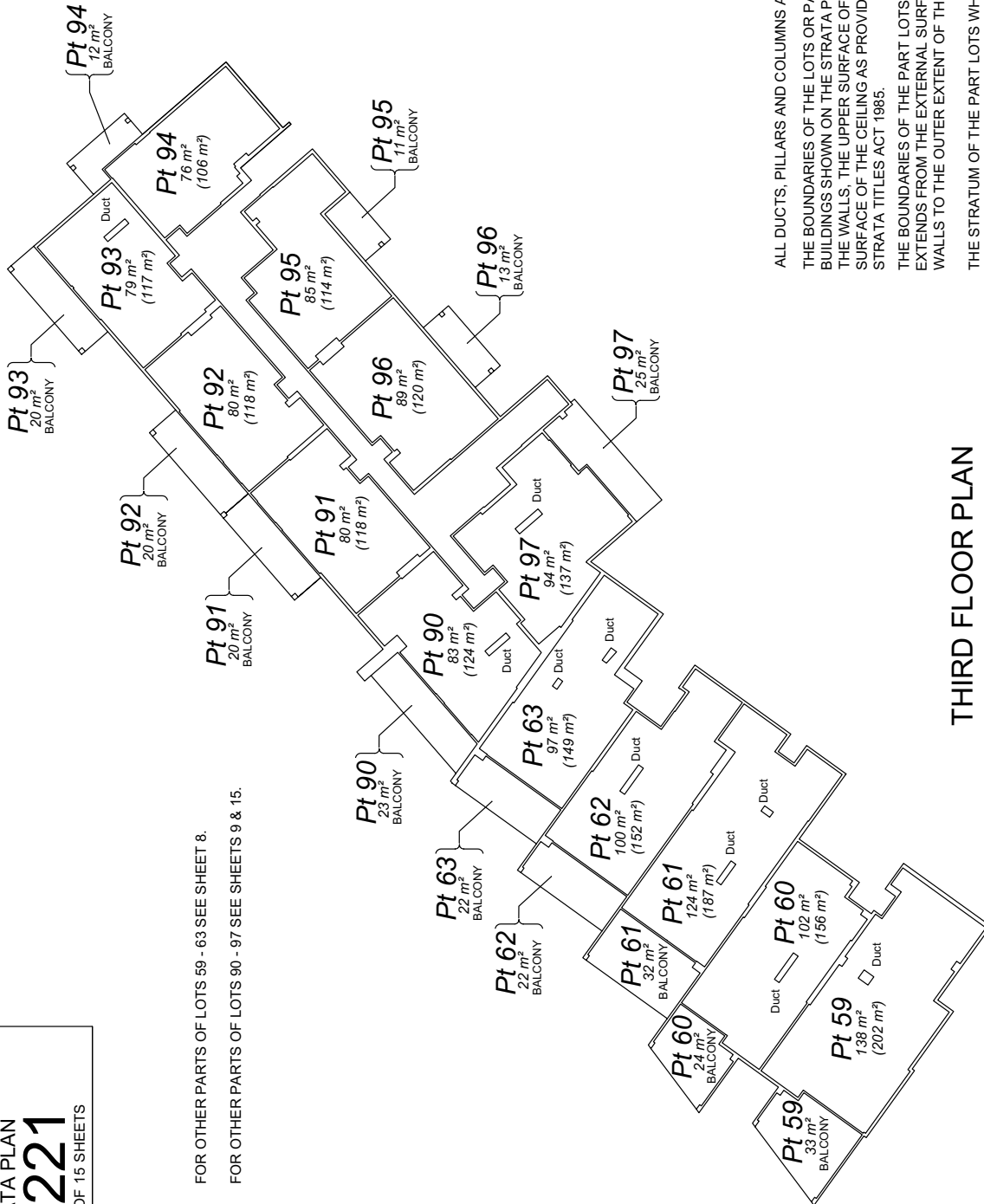
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STRATA PLAN
43221
 SHEET 13 OF 15 SHEETS

FOR OTHER PARTS OF LOTS 59 - 63 SEE SHEET 8.
 FOR OTHER PARTS OF LOTS 90 - 97 SEE SHEETS 9 & 15.



ALL DUCTS, PILLARS AND COLUMNS ARE COMMON PROPERTY.
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 THE STRATUM OF THE PART LOTS WHICH ARE BALCONIES EXTENDS BETWEEN THE UPPER SURFACE OF THEIR FLOOR AND THE UNDER SURFACE OF THEIR CEILING OR THE PROLONGATION OF THE UNDER SURFACE OF THEIR CEILING WHERE NOT COVERED.

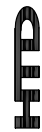
THIRD FLOOR PLAN

SCALE 1 : 300



SCALE 1:300 AT A3
 ALL DISTANCES ARE IN METRES

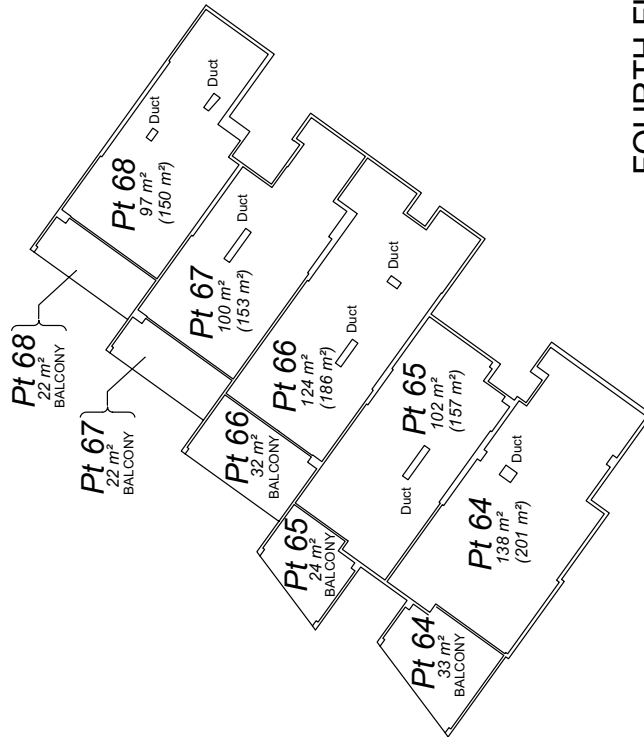
REF: 316/12/1576
 DRAWN BY:



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STRATA PLAN
43221
 SHEET 14 OF 15 SHEETS



FOR OTHER PARTS OF LOTS 64 - 68 SEE SHEET 8.

ALL DUCTS, PILLARS AND COLUMNS ARE COMMON PROPERTY.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS. THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(a) OF THE STRATA TITLES ACT 1985.

THE BOUNDARIES OF THE PART LOTS WHICH ARE BALCONIES EXTENDS FROM THE EXTERNAL SURFACE OF THE BUILDING WALLS TO THE OUTER EXTENT OF THE BALCONY FLOOR SLAB.

THE STRATUM OF THE PART LOTS WHICH ARE BALCONIES EXTENDS BETWEEN THE UPPER SURFACE OF THEIR FLOOR AND THE UNDER SURFACE OF THEIR CEILING OR THE PROLONGATION OF THE UNDER SURFACE OF THEIR CEILING WHERE NOT COVERED.

FOURTH FLOOR PLAN

SCALE 1 : 300

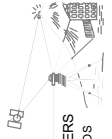


SCALE: 1:300 AT A3
 ALL DISTANCES ARE IN METRES

REF: 31/61/21/576
 DRAWN BY:



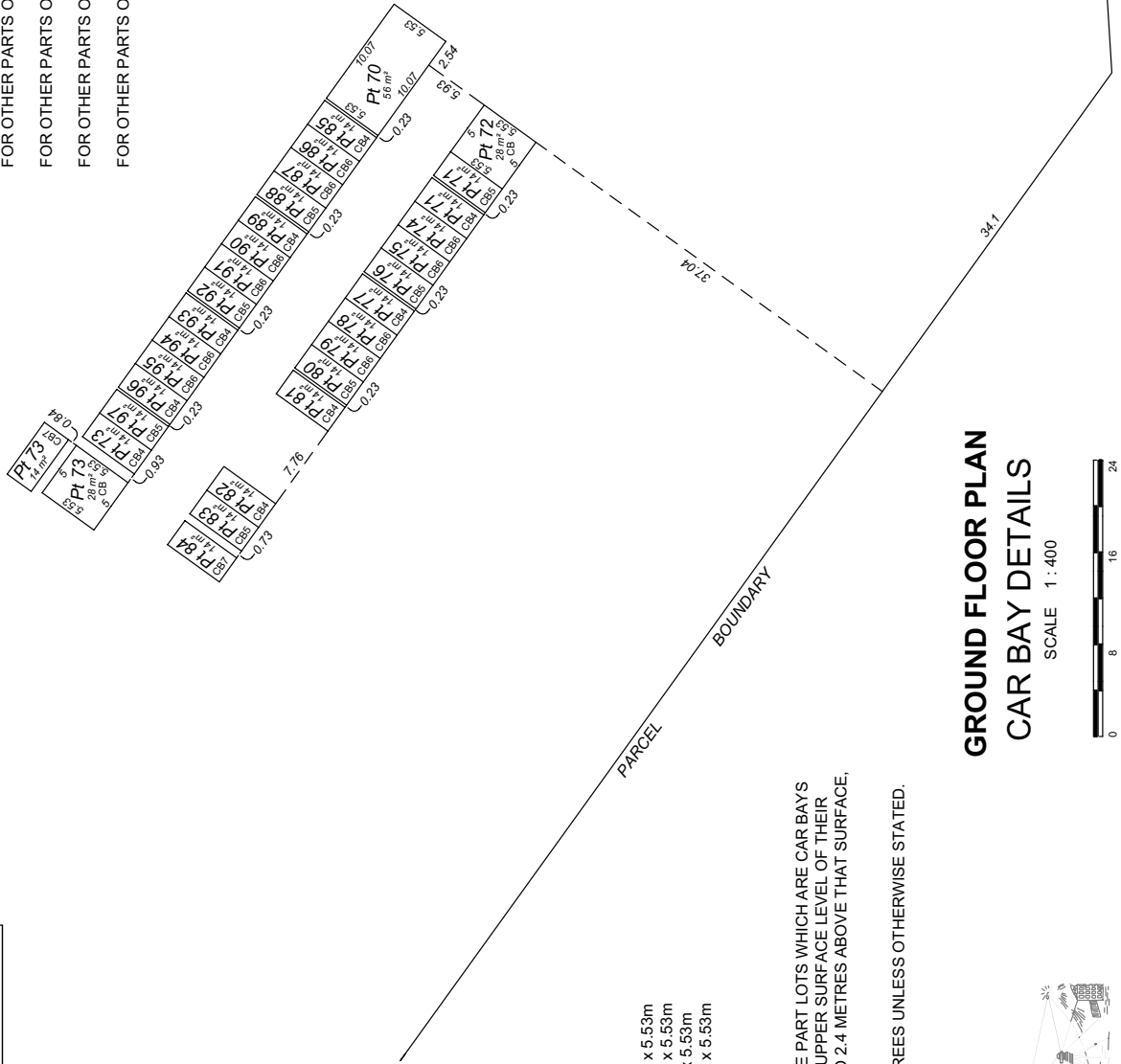
HTD
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STRATA PLAN
43221
 SHEET 15 OF 15 SHEETS

FOR OTHER PARTS OF LOTS 70 - 73 SEE SHEET 9.
 FOR OTHER PARTS OF LOTS 74 - 81 SEE SHEETS 9 & 11.
 FOR OTHER PARTS OF LOTS 82 - 85 & 87 - 89 SEE SHEETS 9 & 12.
 FOR OTHER PARTS OF LOT 86 SEE SHEETS 8 & 12.
 FOR OTHER PARTS OF LOTS 90 - 97 SEE SHEETS 9 & 13.



CB4 = CAR BAY 2.53m x 5.53m
 CB5 = CAR BAY 2.54m x 5.53m
 CB6 = CAR BAY 2.5m x 5.53m
 CB7 = CAR BAY 2.57m x 5.53m

THE STRATUM OF THE PART LOTS WHICH ARE CAR BAYS EXTENDS FROM THE UPPER SURFACE LEVEL OF THEIR PAVEMENT FLOOR TO 2.4 METRES ABOVE THAT SURFACE, UNLESS COVERED.

ANGLES ARE 90 DEGREES UNLESS OTHERWISE STATED.

**GROUND FLOOR PLAN
 CAR BAY DETAILS**

SCALE 1 : 400



SCALE: 1:400 AT A3
 ALL DISTANCES ARE IN METRES

REF: 3161/2/1576

DRAWN BY:



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 HILLE, THOMPSON & DELFOS



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FORM 3

STRATA PLAN No. 43221							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No,	Unit Entitlement	Vol.	Fol.	Lot No,	Unit Entitlement	Vol.	Fol.
1	RE-SUBDIVIDED			28	477	2602	- 46
2	6939	2536	- 700	29	506	2602	- 47
3	1253	2548	- 643	30	506	2602	- 48
4	1253	2548	- 644	31	506	2602	- 49
5	1253	2548	- 645	32	506	2602	- 50
6	626	2548	- 646	33	506	2602	- 51
7	626	2548	- 647	34	506	2602	- 52
8	626	2548	- 648	35	506	2602	- 53
9	626	2548	- 649	36	506	2602	- 54
10	916	2548	- 650	37	506	2602	- 55
11	626	2548	- 651	38	506	2602	- 56
12	626	2548	- 652	39	506	2602	- 57
13	RE-SUBDIVIDED			40	506	2602	- 58
14	RE-SUBDIVIDED			41	RE-SUBDIVIDED		
15	RE-SUBDIVIDED			42	RE-SUBDIVIDED		
16	RE-SUBDIVIDED			43	7228	2779	- 573
17	477	2602	- 35	44	1446	2819	- 324
18	477	2602	- 36	45	1171	2819	- 325
19	477	2602	- 37	46	1388	2819	- 326
20	477	2602	- 38	47	1084	2819	- 327
21	477	2602	- 39	48	1108	2819	- 328
22	477	2602	- 40	49	1518	2819	- 329
23	477	2602	- 41	50	1214	2819	- 330
24	477	2602	- 42	51	1431	2819	- 331
25	477	2602	- 43	52	1205	2819	- 332
26	477	2602	- 44	53	1152	2819	- 333
27	477	2602	- 45	54	1566	2819	- 334

Continued Overleaf

FORM 3

STRATA PLAN No. 43221							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No,	Unit Entitlement	Vol.	Fol.	Lot No,	Unit Entitlement	Vol.	Fol.
55	1267	2819	- 335	82	959	2819	- 362
56	1494	2819	- 336	83	959	2819	- 363
57	1248	2819	- 337	84	916	2819	- 364
58	1200	2819	- 338	85	916	2819	- 365
59	1638	2819	- 339	86	766	2819	- 366
60	1301	2819	- 340	87	819	2819	- 367
61	1537	2819	- 341	88	834	2819	- 368
62	1301	2819	- 342	89	771	2819	- 369
63	1248	2819	- 343	90	959	2819	- 370
64	1687	2819	- 344	91	959	2819	- 371
65	1368	2819	- 345	92	959	2819	- 372
66	1624	2819	- 346	93	959	2819	- 373
67	1344	2819	- 347	94	834	2819	- 374
68	1296	2819	- 348	95	863	2819	- 375
69	1084	2819	- 349	96	911	2819	- 376
70	819	2819	- 350	97	959	2819	- 377
71	385	2819	- 351	98	2698	2819	- 378
72	463	2819	- 352	99	1638	2819	- 379
73	949	2819	- 353	100	2890	2819	- 380
74	858	2819	- 354				
75	858	2819	- 355				
76	858	2819	- 356				
77	858	2819	- 357				
78	723	2819	- 358				
79	766	2819	- 359				
80	766	2819	- 360				
81	814	2819	- 361				

Continued Overleaf

FORM 5

Strata Titles Act 1985

Sections 5B(1), 8A, 22(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

Lot 800 on Deposited Plan 35588.

Re-Subdivision of lots 41, 42 & Common Property on Strata Plan 43221.

A five storey concrete panel and metal roofed mixed use apartment complex.

CERTIFICATE OF LICENSED SURVEYOR

I, Brad Leigh Collard, being a licensed surveyor registered under the *Licensed Surveyors Act 1909* certify that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan"): —

- (a) each lot that is not wholly within a building shown on the plan is within the external surface boundaries of the parcel; and either
- ~~(b) each building shown on the plan is within the external surface boundaries of the parcel; or~~
- (c) in a case where a part of a wall or building, or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel —
 - (i) all lots shown on the plan are within the external surface boundaries of the parcel;
 - (ii) the plan clearly indicates the existence of the encroachment and its nature and extent; and
 - ~~(iii) where the encroachment is not on to a public road, street or way, that an appropriate easement has been granted and will be lodged with the Registrar of Titles to enable it to be registered as an appurtenance of the parcel; and~~
- ~~*(d) if the plan is a plan of re-subdivision, it complies with Schedule 1 by law(s) no(s) _____ on Strata Plan No. _____ registered in respect of (name of scheme) or sufficiently complies with that/those by law(s) in a way that is allowed by regulation 36 of the *Strata Titles General Regulations 1996*.~~



Brad Leigh Collard
2013.04.23 11:19:12 +08'00'

.....
Licensed Surveyor

.....
Date

*Delete if inapplicable

Occupancy Permit - Strata

Western Australian Building Act 2011, section 50, 61
 Building Regulations 2012, regulation 4

Permit number
 OFFICE USE ONLY **130580**

This form is for the purposes of the *Building Act 2011*, section 50 and the *Strata Titles Act 1985*, section 5B(2)(a) and 8A(f)(i).

1. Details of building or structure

Certificate of title	Volume 2674	Folio 75
Lot on survey	42	
Strata plan number	43221 Pages 1-15	Land being re-subdivided (if applicable)
Property street address (unit no, level, street no, lot no, street name, suburb, postcode)	3-7 FORREST STREET GERALDTON 6530	
Description of building	OCCUPANCY PERMIT STRATA	
Main BCA class of the building	Class 2,3,5,6 & 7a	Secondary BCA class (for multi-purpose buildings)
Use(s) of building	Mixed Development that incorporates commercial and residential uses.	Each restriction on use (if applicable)

2. Permit details

This occupancy permit is for whole of building ~~or part of building~~

N.B. - it is illegal to occupy the building until a Certificate of Construction Compliance has been issued by the building certifier and an Occupancy Permit (BA 10) has been issued by the Permit Authority.

Details -

Western Australian Planning Commission approval required? **Yes**

All requirements including those for encroachments under section 76 of the *Building Act 2011*, in addition to those covered in the certificate of building compliance, have been met to the satisfaction of the permit authority.


ENCROACHMENTS

1. Encroachment into strata lot 12 Street No 12 Forrest Street Geraldton WA - Strata Plan 43221 Page 3 of 15, BA20 Form supplied signed by owner Gregory Bernard Brown, Dated 22/4/2013
2. Encroachment into Road Reserve, (Eave) Forrest Street WA - Strata Plan 43221 Page 3 of 15.
3. Minor encroachment into Reserve, edge of concrete Slab - Strata plan 43221 Page 3 of 15 Ground Floor.

Occupancy Permit - Strata

4. Minor encroachment into Reserve, edge of concrete Slab - Strata plan 43221 Page 4 of 15, First Floor.
5. Minor encroachment into Reserve, edge of concrete Slab - Strata plan 43221 Page 5 of 15 Second Floor.
6. Minor encroachment into Reserve, edge of concrete Slab - Strata plan 43221 Page 6 of 15 Third Floor.

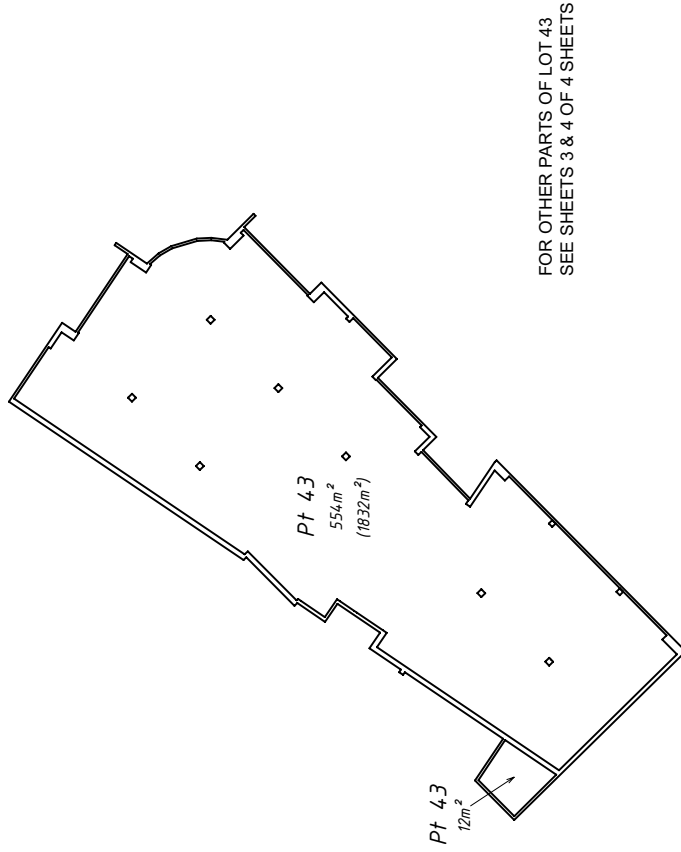
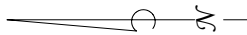
This occupancy permit is for the purpose of lodging a strata plan for registration or to re-subdivide a strata scheme under the *Strata Titles Act 1985*.

Issuing officer	Name Dave Gibson	Title Building Surveyor
	Signature 	Date 8/07/2013
Permit authority	The City of Greater Geraldton	

STRATA PLAN

43221

SHEET 2 OF 4 SHEETS



GROUND FLOOR PLAN

(Scale 1 : 300 @ A3)

ALL PILLARS AND COLUMNS ARE COMMON PROPERTY.

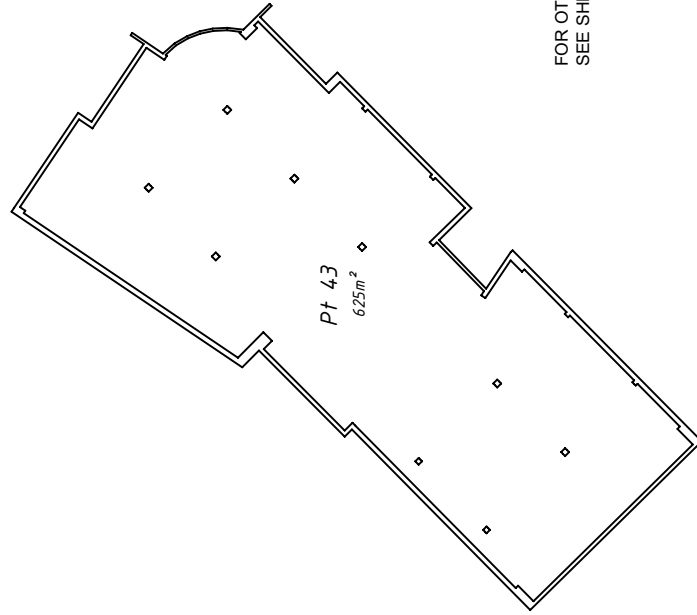
ALL WALLS ARE COMMON PROPERTY.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(b) OF THE STRATA TITLES ACT 1985.

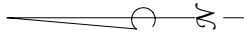
STRATA PLAN

43221

SHEET 3 OF 4 SHEETS



FOR OTHER PARTS OF LOT 43
SEE SHEETS 2 & 4 OF 4 SHEETS



FIRST FLOOR PLAN

(Scale 1 : 300 @ A3)

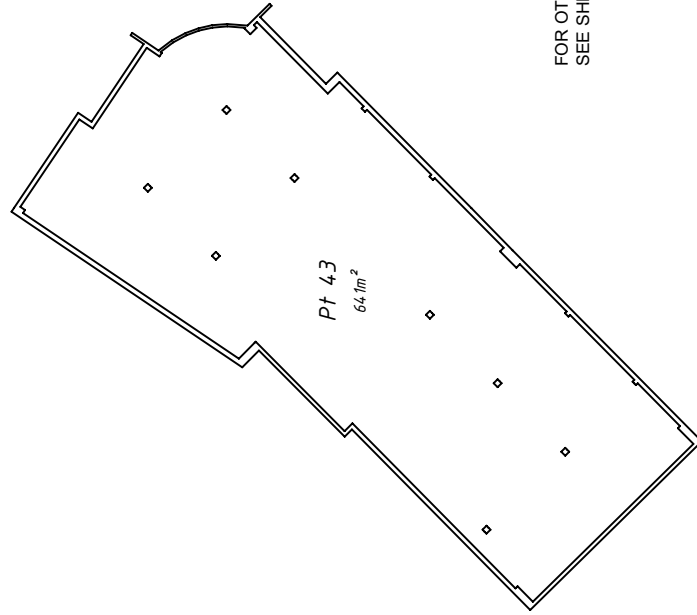
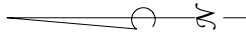
ALL PILLARS AND COLUMNS ARE COMMON PROPERTY.
ALL WALLS ARE COMMON PROPERTY.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(b) OF THE STRATA TITLES ACT 1985.

STRATA PLAN

43221

SHEET 4 OF 4 SHEETS



FOR OTHER PARTS OF LOT 43
SEE SHEETS 2 & 3 OF 4 SHEETS



SECOND FLOOR PLAN

(Scale 1 : 300 @ A3)

ALL PILLARS AND COLUMNS ARE COMMON PROPERTY.
ALL WALLS ARE COMMON PROPERTY.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(b) OF THE STRATA TITLES ACT 1985.

FORM 3

STRATA PLAN No. 43221							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No,	Unit Entitlement	Vol.	Fol.	Lot No,	Unit Entitlement	Vol.	Fol.
1	RE-SUBDIVIDED			28	100	2602	- 46
2	1419	2536	- 700	29	110	2602	- 47
3	285	2548	- 643	30	108	2602	- 48
4	285	2548	- 644	31	108	2602	- 49
5	285	2548	- 645	32	108	2602	- 50
6	126	2548	- 646	33	108	2602	- 51
7	123	2548	- 647	34	112	2602	- 52
8	126	2548	- 648	35	112	2602	- 53
9	123	2548	- 649	36	108	2602	- 54
10	201	2548	- 650	37	108	2602	- 55
11	123	2548	- 651	38	108	2602	- 56
12	123	2548	- 652	39	108	2602	- 57
13	RE-SUBDIVIDED			40	108	2602	- 58
14	RE-SUBDIVIDED			41	1478	2674	- 74
15	RE-SUBDIVIDED			42	1319	2674	- 75
16	RE-SUBDIVIDED			43	1478	2779	- 573
17	100	2602	- 35				
18	100	2602	- 36				
19	100	2602	- 37				
20	100	2602	- 38				
21	100	2602	- 39				
22	100	2602	- 40				
23	100	2602	- 41				
24	100	2602	- 42				
25	100	2602	- 43				
26	100	2602	- 44				
27	100	2602	- 45				

**SEE FURTHER SHEET OF
PLAN OF RE-SUBDIVISION**

Continued Overleaf

FORM 5

Strata Titles Act 1985
Sections 5B(1), 8A, 22(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

Lot 800 on Deposited Plan 35588.
Re-Subdivision of Lot 16 & common property on Strata Plan 43221.
A three storey concrete panel and metal roofed office building.
209 Foreshore Drive, Geraldton.

CERTIFICATE OF LICENSED SURVEYOR

I, D. K. McAliece, being a licensed surveyor registered under the *Licensed Surveyors Act 1909* certify that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan"):-

- (a) each lot that is not wholly within a building shown on the plan is within the external surface boundaries of the parcel; and either
 - (b) each building shown on the plan is within the external surface boundaries of the parcel; or
 - (c) in a case where a part of a wall or building, or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel –
 - (i) all lots shown on the plan are within the external surface boundaries of the parcel;
 - (ii) the plan clearly indicates the existence of the encroachment and its nature and extent; and
 - ~~(iii) where the encroachment is not on to a public road, street or way, that an appropriate easement has been granted and will be lodged with the Registrar of Titles to enable it to be registered as an appurtenance of the parcel;~~
- and

~~*(d) if the plan is a plan of re-subdivision, it complies with Schedule 1 by law(s) no(s)..... on Strata Plan No..... registered in respect of (name of scheme) or sufficiently complies with that/those bylaw(s) in a way that is allowed by regulation 36 of the *Strata Titles General Regulations 1996*.~~

Dion K McAliece
2011.05.16 14:53:14 +08'00'

.....
Licensed Surveyor

.....
Date

*Delete if inapplicable

FORM 7

Strata Titles Act 1985

Section 5B(2), 8A(f), 23(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

Lot ~~100 on Plan 24105(4)~~. 800 on Deposited Plan 35588.
Re-Subdivision of Lot 16 & common property on Strata Plan 43221.
A three storey concrete panel and metal roofed office building.
209 Foreshore Drive, Geraldton.

CERTIFICATE OF LOCAL GOVERNMENT

City of Geraldton-Greenough....., the local government hereby certifies that in respect to the strata plan which relates to the parcel and building described above (in this certificate called "the plan"):-

- (1) *(a) the building and the parcel shown on the plan have been inspected and that it is consistent with the approved building plans and specifications in respect of the building: or

~~*(b) the building has been inspected and the modification is consistent with the approved building plans and specifications relating to the modification;~~
- (2) the building, in the opinion of the local government, is of sufficient standard to be brought under the *Strata Titles Act 1985*;
- (3) where a part of a wall or building or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel on to a public road, street or way the local government is of the opinion that retention of the encroachment in its existing state will not endanger public safety or unreasonably interfere with the amenity of the neighbourhood and the local government does not object to the encroachment; and
- (4) *(a) any conditions imposed by the Western Australian Planning Commission have been complied with; or

~~*(b) the within strata scheme is exempt from the requirement of approval by the Western Australian Planning Commission.~~

23.6.2011
Date


.....
Chief Executive Officer

*Delete if inapplicable

FORM 26

Ref. S208607

STRATA PLAN NO. 43221

Strata Titles Act 1985
Sections 25(1), 25(4)

**CERTIFICATE OF GRANT OF APPROVAL BY WESTERN AUSTRALIAN
PLANNING COMMISSION TO STRATA PLAN**

It is hereby certified that the approval of the Western Australian Planning Commission has been granted pursuant to section 25(1) of the *Strata Titles Act 1985* to –

plan of re-subdivision
~~*(i) the *Strata Plan /~~ ~~plan of re-subdivision / plan of consolidation~~ submitted on 16-May-11 and relating to the property described below;

~~*(ii) the sketch submitted on _____ of the proposed *subdivision of the property described below into lots on a Strata Plan / re-subdivision / consolidation of the lots on the Strata Plan specified below; subject to the following conditions –~~

Property Description: ~~Let~~(or Strata Plan) No. 43221
.....
Location.....
.....
Locality 1 Museum Place, Geraldton
.....
Local Government City of Geraldton-Greenough

Lodged by: Carlton Surveys

Date: 16-May-11

For Chairman, Western Australian
Anthony Brun Planning Commission
Chief Executive Officer
City of Geraldton-Greenough
Delegated under Section 16(3)(e)
of the P & D Act 2005

(*to be deleted as appropriate.)

23.6.2011

INTERESTS AND NOTIFICATIONS			
SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN
(B)	EASEMENT (BELOW GROUND ELECTRIC)	SEC 27A OF T.P. & D. ACT REG. 8	P 24,105
ED/VER	AMENDMENT	BY	SIGNATURE DATE
			MURRAY CARLTON hereby certify that this plan is accurate and is a correct representation of the- (a) survey, and/or (b) calculations from measurements, undertaken for the purposes of this plan, and that it complies with the relevant written law(s) in relation to which it is lodged. <i>Murray Carlton</i> LICENSED SURVEYOR 16-3-07 DATE

STRATA PLAN 43221 SHEET 1 OF 2 SHEETS JOB : 8782 RE-SUBDIVISION OF LOTS 13 & 14 & COMMON PROPERTY ON STRATA PLAN 43221 CERTIFICATE OF TITLE VOLUME: 2548 FOLIO: 653 VOLUME: 2548 FOLIO: 654 LOCAL GOVERNMENT CITY OF GERALDTON INDEX PLAN BG43(1) 29.30, 29.31 FIELD BOOK NUMBER SCALE 1 : 1000 @ A3 NAME OF SCHEME 1 MUSEUM PLACE GERALDTON ADDRESS OF PARCEL 1 MUSEUM PLACE GERALDTON WA 6530	MANAGEMENT STATEMENT YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> CERTIFIED CORRECT 9.5.07 N COR FILE 1115/1005.V1 pg 12 IN ORDER FOR DEALINGS SUBJECT TO FORMS 3, 6, 7 ASSESS NO. 2114.735 REGISTERED K 379582 REGISTRAR OF TITLES DATE 16.03.07 APPLICATION FORM 26 WAPC REF:1677-06 Strata Titles Act 1985 - Sections 25(1), 25(4) CERTIFICATE OF APPROVAL BY WESTERN AUSTRALIAN PLANNING COMMISSION TO STRATA PLAN It is hereby certified that the approval of the Western Australian Planning Commission has been granted pursuant to section 25(1) of the Strata Titles Act 1985 to the Strata Plan submitted on 9.5.07 and relating to the property described herein. For Chairman Western Australian Planning Commission <i>Murray Carlton</i> 15/11/2007 Date Landgate Western Australian Land Information Authority
---	---

SEE FURTHER SHEET OF PLAN OF RE-SUBDIVISION

CARLTON SURVEYS
LICENSED SURVEYORS
SUITE 4, 180 BURSWOOD ROAD
BURSWOOD 6100
TELEPHONE 9361 5356 FAX 9361 3457
Email: carlton@carlton-surveys.com.au

LIMITED IN DEPTH TO 12.19 METRES AS TO LOT 2906 ONLY

LOCATION PLAN (Scale 1 : 1000)

STRATA PLAN

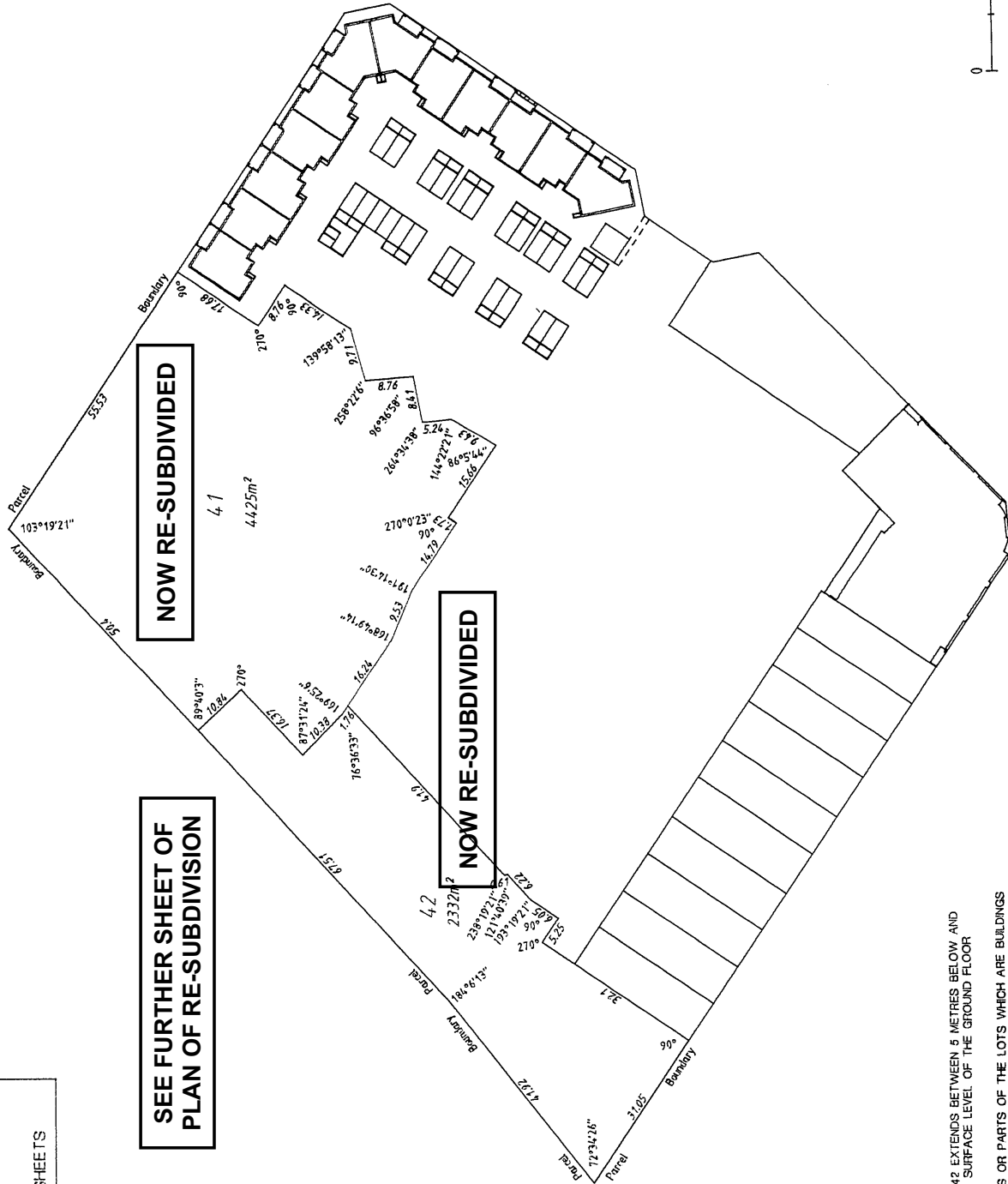
43221

SHEET 2 OF 2 SHEETS

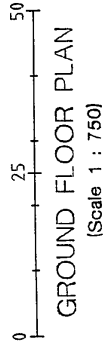
SEE FURTHER SHEET OF
PLAN OF RE-SUBDIVISION

NOW RE-SUBDIVIDED

NOW RE-SUBDIVIDED



THE STRATUM OF LOTS 4.1 & 4.2 EXTENDS BETWEEN 5 METRES BELOW AND 20 METRES ABOVE THE UPPER SURFACE LEVEL OF THE GROUND FLOOR OF THE BUILDING ON LOT 2.
THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACES OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 31(1)(b) OF THE STRATA TITLES ACT 1985.



FORM 3

STRATA PLAN No. 43221							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No,	Unit Entitlement	Vol.	Fol.	Lot No,	Unit Entitlement	Vol.	Fol.
1	RE-SUBDIVIDED			28	143	2602	46
2	1902	2536	700	29	162	2602	47
3	119	2548	643	30	158	2602	48
4	119	2548	644	31	158	2602	49
5	119	2548	645	32	158	2602	50
6	125	2548	646	33	158	2602	51
7	119	2548	647	34	165	2602	52
8	125	2548	648	35	165	2602	53
9	119	2548	649	36	158	2602	54
10	119	2548	650	37	158	2602	55
11	119	2548	651	38	158	2602	56
12	119	2548	652	39	158	2602	57
13	RE-SUBDIVIDED			40	158	2602	58
14	RE-SUBDIVIDED			41	888	2674	74
15	RE-SUBDIVIDED			42	2140	2674	75
16	238	2548	656				
17	143	2602	35				
18	143	2602	36				
19	143	2602	37				
20	143	2602	38				
21	143	2602	39				
22	143	2602	40				
23	143	2602	41				
24	143	2602	42				
25	143	2602	43				
26	143	2602	44				
27	143	2602	45				

SEE FURTHER SHEET OF PLAN OF RE-SUBDIVISION

Continued Overleaf

FORM 5

Strata Titles Act 1985
Sections 5B(1), 8A, 22(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

LOTS 13 & 14 & COMMON PROPERTY ON STRATA PLAN 43221 BEING KNOWN AS
1 MUSEUM PLACE, GERALDTON.

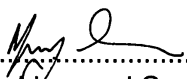
CERTIFICATE OF LICENSED SURVEYOR

I, MURRAY CARLTON, being a licensed surveyor registered under the *Licensed Surveyors Act 1909*, certify that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan")—

- (a) each lot that is not wholly within a building shown on the plan is within the external surface boundaries of the parcel; and either
- (b) each building shown on the plan is within the external surface boundaries of the parcel; or
- (c) in a case where a part of a wall or building, or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel—
 - (i) all lots shown on the plan are within the external surface boundaries of the parcel;
 - (ii) the plan clearly indicates the existence of the encroachment and it's nature and extent; and
 - (iii) where the encroachment is not on to a public road, street or way, that an appropriate easement has been granted and will be lodged with the Registrar of Titles to enable it to be registered as an appurtenance of the parcel; and

~~*(d) if the plan is a plan of re-subdivision, it complies with Schedule 1 by-law(s) No(s)..... on Strata Plan No..... registered in respect of (name of scheme)..... or sufficiently complies with that/those by-law(s) in a way that is allowed by regulation 36 of the *Strata Titles General Regulations 1996*.~~

.....16-3-2007.....
Date


.....
Licensed Surveyor

* Delete if inapplicable

FORM 7

Strata Titles Act 1985

Sections 5B(2), 8A(f), 23(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

THE PARCEL SUBJECT OF THIS PLAN IS TWO VACANT LOTS BEING LOTS 13 & 14 ON STRATA PLAN 43221 COMPRISED IN CERTIFICATES OF TITLE VOLUME: 2548 FOLIO: 653 AND VOLUME: 2548 FOLIO: 654 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LOCAL GOVERNMENT

CITY OF GERALDTON, the local government hereby certifies that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan"):

(1) *(a) the building and parcel shown on the plan have been inspected and that it is consistent with the approved building plans and specifications in respect of the building; or

~~*(b) the building has been inspected and the modification is consistent with the approved building plans and specifications relating to the modification;~~

(2) the building, in the opinion of the local government, is of sufficient standard to be brought under the *Strata Titles Act 1985*;

(3) where a part of the wall or building or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel on to a public road, street or way the local government is of the opinion that retention of the encroachment in its existing state will not endanger public safety or unreasonably interfere with the amenity of the neighbourhood and the local government does not object to the encroachment; and

(4) *(a) any conditions imposed by the Western Australian Planning Commission have been complied with; or

~~*(b) the within strata scheme is exempt from the requirement of approval by the Western Australian Planning Commission.~~


.....
Date

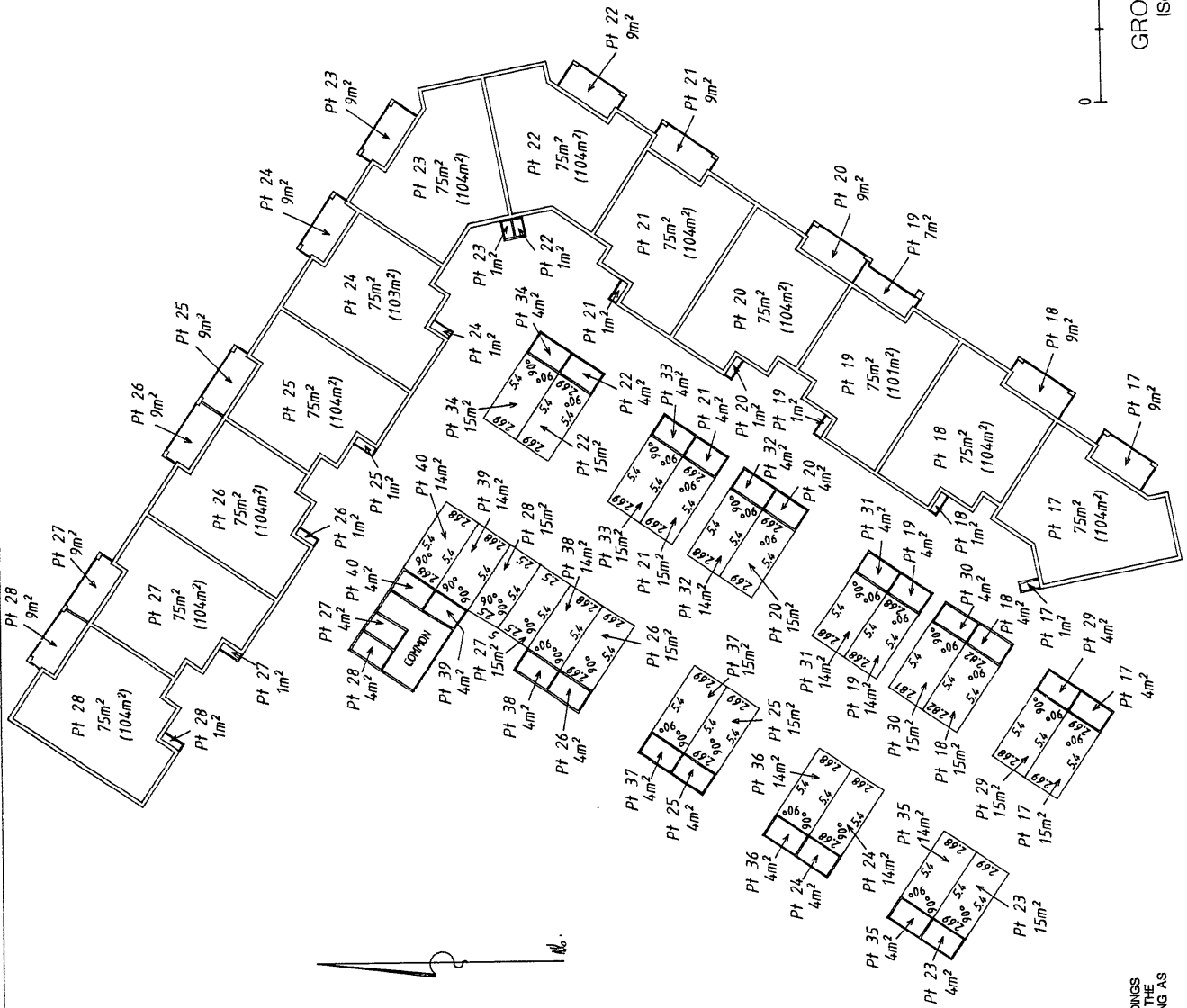

.....
Chief Executive Officer

*Delete if inapplicable

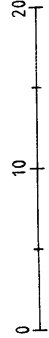
STRATA / SURVEY -
STRATA-PLAN 43221

SHEET 2 OF 4 SHEETS

FOR OTHER PARTS OF LOTS 29-40 INCL.
SEE SHEETS 3 & 4 OF 4 SHEETS



F
9/6/2005



GROUND FLOOR
(Scale 1 : 300)

ALL DISTANCES ARE TO THE EXTERNAL SURFACE OF THE BUILDING WALLS.

THE STRATUM OF THE LOTS OR PARTS OF THE LOTS, EXTERNAL TO THE BUILDINGS EXTENDS BETWEEN 1 METRE BELOW AND 4 METRES ABOVE THE UPPER SURFACE, LESS THE GROUND FLOOR OF THE BUILDING ON LOT 18, UNLESS COVERED.

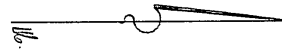
THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACES OF THE FLOOR AND THE UNDER SURFACES OF THE CEILING AS PROVIDED BY SECTION 31(2)(a) OF THE STRATA TITLES ACT 1985.



STRATA / SURVEY -
STRATA PLAN 43221

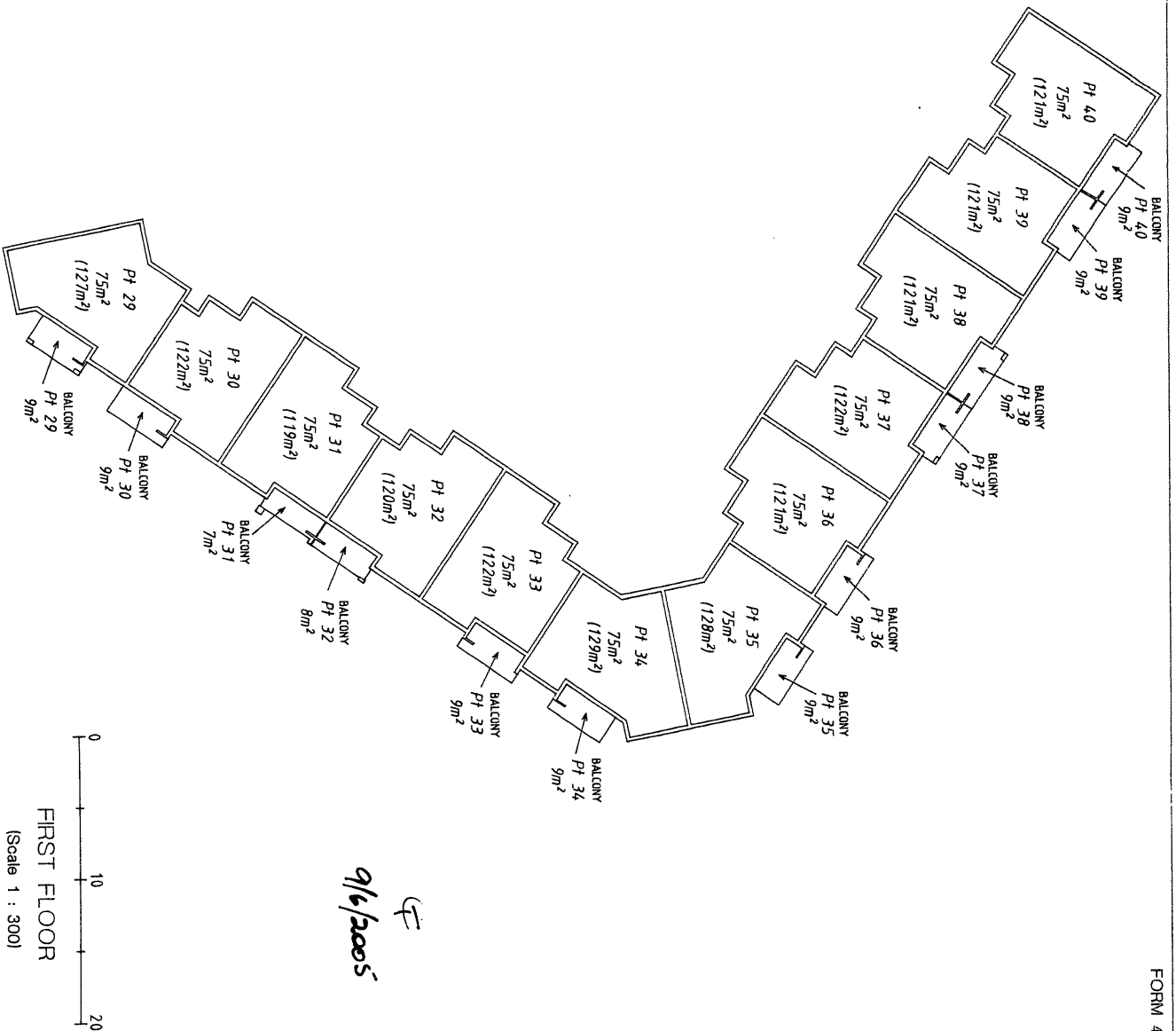
SHEET 3 OF 4 SHEETS

FORM 4



FOR OTHER PARTS OF LOTS 29-40 INCL.
SEE SHEETS 2 & 4 OF 4 SHEETS.

ALL DISTANCES ARE TO THE EXTERNAL SURFACE
OF THE BUILDING WALLS.
THE BOUNDARIES OF THE BALCONY PART LOTS ARE FROM THE EXTERNAL
SURFACE OF THE BUILDING WALLS TO THE OUTER EXTENT OF THE BALCONY
SLAB AND FROM THE UPPER SURFACE LEVEL OF BALCONY SLAB FLOOR
TO 2.4 METRES ABOVE, UNLESS COVERED.
THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS
SHOWN ON THIS PLAN ARE THE UPPER SURFACES OF THE WALLS
THE UPPER SURFACE OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING,
AS PROVIDED BY SECTION 32(1) OF THE STRATA TITLES ACT 1985.

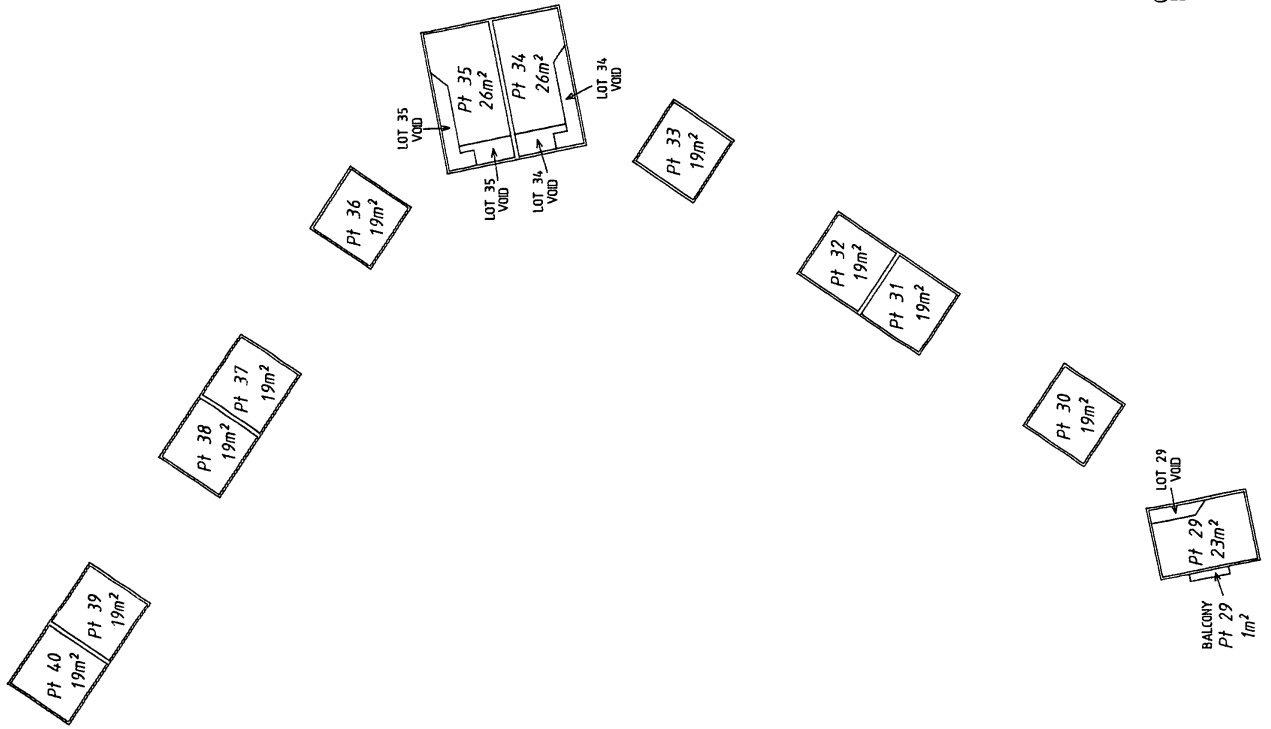


FIRST FLOOR
(Scale 1 : 300)

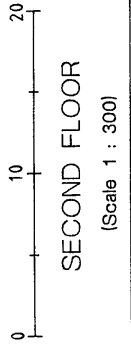
9/6/2005

STRATA / SURVEY
STRATA PLAN 43221

SHEET 4 OF 4 SHEETS



G
9/1/2005



FOR OTHER PARTS OF LOTS 29-40 INCL.
SEE SHEETS 2 & 3 OF 4 SHEETS

ALL DISTANCES ARE TO THE EXTERNAL SURFACE OF THE BUILDING WALLS.

THE BOUNDARIES OF THE BALCONY PART LOTS ARE FROM THE EXTERNAL SURFACE OF THE BUILDING WALLS TO THE OUTER EXTENT OF THE BALCONY SLAB AND FROM THE UPPER SURFACE LEVEL OF BALCONY SLAB FLOOR TO 2.4 METRES ABOVE, UNLESS COVERED.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACES OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING, AS PROVIDED BY SECTION 3(2)(b) OF THE STRATA TITLES ACT 1985.

FORM 3

STRATA/SURVEY-STRATA PLAN No. 43221							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No.	Unit Entitlement	Vol.	Fol.	Lot No.	Unit Entitlement	Vol.	Fol.
1	NOW RE-	SUBDIVIDED		22	152	2602 - 40	
2	2720	2536-700		23	152	2602 - 41	
3	110	2548-643		24	152	2602 - 42	
4	110	2548-644		25	152	2602 - 43	
5	110	2548-645		26	152	2602 - 44	
6	119	2548-646		27	152	2602 - 45	
7	110	2548-647		28	152	2602 - 46	
8	119	2548-648		29	185	2602 - 47	
9	110	2548-649		30	185	2602 - 48	
10	110	2548-650		31	185	2602 - 49	
11	110	2548-651		32	185	2602 - 50	
12	110	2548-652		33	185	2602 - 51	
13	717	2548-653		34	185	2602 - 52	
14	1255	2548-654		35	185	2602 - 53	
15	NOW RE-	SUBDIVIDED		36	185	2602 - 54	
16	146	2548-656		37	185	2602 - 55	
17	152	2602 - 35		38	185	2602 - 56	
18	152	2602 - 36		39	185	2602 - 57	
19	152	2602 - 37		40	185	2602 - 58	
20	152	2602 - 38					
21	152	2602 - 39		Aggregate	10,000		

DESCRIPTION OF PARCEL AND BUILDING/PARCEL

THE BUILDING SUBJECTS OF THIS PLAN IS A THREE STOREY CONCRETE PANEL AND METAL ROOFED OFFICE AND A RENDERED BRICK AND METAL ROOFED COMPLEX COMPRISED OF TWENTY FOUR RESIDENTIAL APARTMENTS AND THIRTEEN VACANT LOTS ON STRATA PLAN 43221 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.


THE RE-SUBDIVISION OF LOT 15.

CERTIFICATE OF LICENSED VALUER
STRATA/SURVEY-STRATA

I, MICHAEL JOHN ROWE, being a Licensed Valuer licensed under the Land Valuers Licensing Act 1978 certify that the unit entitlement of each lot (in this certificate, excluding any common property lots), as stated in the schedule bears in relation to the aggregate unit entitlement of all lots delineated on the plan a proportion not greater than 5 per cent more or 5 per cent less than the proportion that the value (as that term is defined in section 14 (2a) of the Strata Titles Act 1985) of that lot bears to the aggregate value of all the lots delineated on the plan.

11 JULY 04

Date



Signed

FORM 5

Strata Titles Act 1985
Sections 5B(1), 8A, 22(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

THE BUILDING SUBJECT OF THIS PLAN IS A RENDERED BRICK AND METAL ROOFED COMPLEX COMPRISED OF TWENTY FOUR RESIDENTIAL APARTMENTS ON LOT 15 ON STRATA PLAN 43221 COMPRISED IN CERTIFICATE OF TITLE VOLUME:2548 FOLIO:655 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LICENSED SURVEYOR

I,.....MURRAY CARLTON....., being a licensed surveyor registered under the *Licensed Surveyors Act 1909*, certify that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan")—

- (a) each lot that is not wholly within a building shown on the plan is within the external surface boundaries of the parcel; and either
- (b) each building shown on the plan is within the external surface boundaries of the parcel; or
- (c) in a case where a part of a wall or building, or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel—
 - (i) all lots shown on the plan are within the external surface boundaries of the parcel;
 - (ii) the plan clearly indicates the existence of the encroachment and it's nature and extent; and
 - (iii) where the encroachment is not on to a public road, street or way, that an appropriate easement has been granted and will be lodged with the Registrar of Titles to enable it to be registered as an appurtenance of the parcel; and
- *~~(d) if the plan is a plan of re-subdivision, it complies with Schedule T by-law(s) No(s)..... on Strata Plan No..... registered in respect of (name of scheme)..... or sufficiently complies with that/those by-law(s) in a way that is allowed by regulation 36 of the *Strata Titles General Regulations 1996*.~~

.....13-10-2004.....
Date

.....
Licensed Surveyor

* Delete if inapplicable

FORM 7

Strata Titles Act 1985
Section 5B(2), 8A(f), 23(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

THE BUILDING SUBJECT OF THIS PLAN IS A RENDERED BRICK AND METAL ROOFED COMPLEX COMPRISED OF TWENTY FOUR RESIDENTIAL APARTMENTS ON LOT 15 ON STRATA PLAN 43221 COMPRISED IN CERTIFICATE OF TITLE VOLUME:2548 FOLIO:655 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LOCAL GOVERNMENT

CITY OF GERALDTON....., the local government hereby certifies that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan"):-

- (1) *(a) the building and the parcel shown on the plan have been inspected and that it is consistent with the approved building plans and specifications in respect of the building; or

*(b) ~~the building has been inspected and the modification is consistent with the approved building plans and specifications relating to the modification;~~
- (2) the building, in the opinion of the local government, is of sufficient standard to be brought under the *Strata Titles Act 1985*;
- (3) where a part of a wall or building or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel on to a public road, street or way the local government is of the opinion that retention of the encroachment in its existing state will not endanger public safety or unreasonably interfere with the amenity of the neighbourhood and the local government does not object to the encroachment; and
- (4) *(a) any conditions imposed by the Western Australian Planning Commission have been complied with; or

*(b) ~~the within strata scheme is exempt from the requirement of approval by the Western Australian Planning Commission.~~

28/7/2005.....
Date


Chief Executive Officer

*Delete if inapplicable

FORM 26

WAPC Ref. No. 1366-04

STRATA PLAN No. 43221

STRATA TITLES ACT 1985
Sections 25(1), 25(4)

CERTIFICATE OF GRANT OF APPROVAL BY WESTERN AUSTRALIAN PLANNING COMMISSION TO STRATA PLAN

It is hereby certified that the approval of the Western Australian Planning Commission has been granted pursuant to section 25(1) of the Strata Titles Act 1985 to—

- * (i) the *Strata Plan/Plan of Re-Subdivision/Plan of Consolidation submitted on 31/5/2005 9 JUNE 2005 and relating to the property described below;
*(ii) the sketch submitted on ... of the *proposed subdivision of the property described below into lots on a Strata Plan/ Re-Subdivision/Consolidation of the lots on the Strata Plan described below, subject to the following conditions—

Property Description: Lot (or Strata Plan) No. 15
Location
Locality MUSEUM PLACE, GERALDTON
Local Government CITY OF GERALDTON

Lodged by: CARLTON SURVEYS
Date: 31-5-2005

C. Fran.
For Chairman, Western Australian Planning Commission

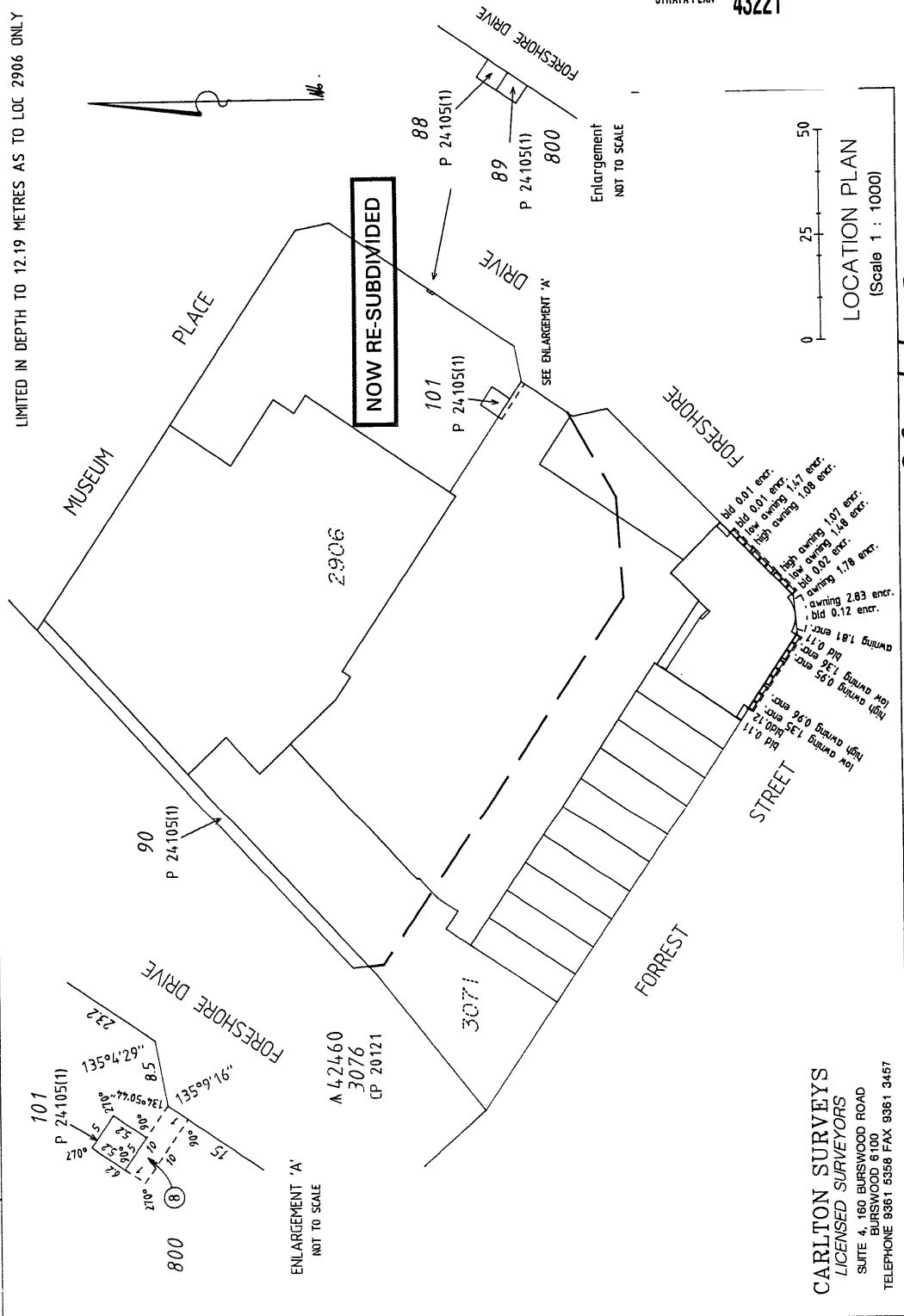
9-JUNE-2005
Date

(*To be deleted as appropriate)

INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
(B)	MEMORIAL EASEMENT (BELOW GROUND ELECTRIC)	SECTION 12A OF T.P. & D. ACT SEC 27A OF T.P. & D. ACT REG. 8	DOC (H371672) P 24-105	THIS STRATA PLAN COMMON PROPERTY	SEE DOCUMENT ELECTRICITY CORPORATION	

LIMITED IN DEPTH TO 12.19 METRES AS TO LOC 2906 ONLY



RAE 71102003

CARLTON SURVEYS
LICENSED SURVEYORS
SUITE 4, 160 BURSWOOD ROAD
BURSWOOD 6100
TELEPHONE 9361 6358 FAX 9361 3457

STRATA / SURVEY - STRATA PLAN 43221

SHEET 1 OF 2 SHEETS

MANAGEMENT STATEMENT YES NO

Lodged 8.10.2003 \$690 391130
Examined 8.10.03
Registered 8.10.03 App 1654044

REGISTRAR OF TITLES
WESTERN AUSTRALIAN PLANNING COMMISSION

Certificate of Approval of W.A.P.C. under Section 26B(2) of Strata Titles Act 1985.

Delegated Under: S20 WAPC Act 1985 DATE: _____ JOB: 6184

PLAN OF RE-SUBDIVISION OF LOT 1 ON STRATA PLAN 43221

CERTIFICATE OF TITLE VOLUME: 2536 FOLIO: 699

LOCAL GOVERNMENT CITY OF GERALDTON

INDEX PLAN BG43(1) 29.30, 29.31

FIELD BOOK NUMBER

SCALE 1 : 750 & 1 : 1000

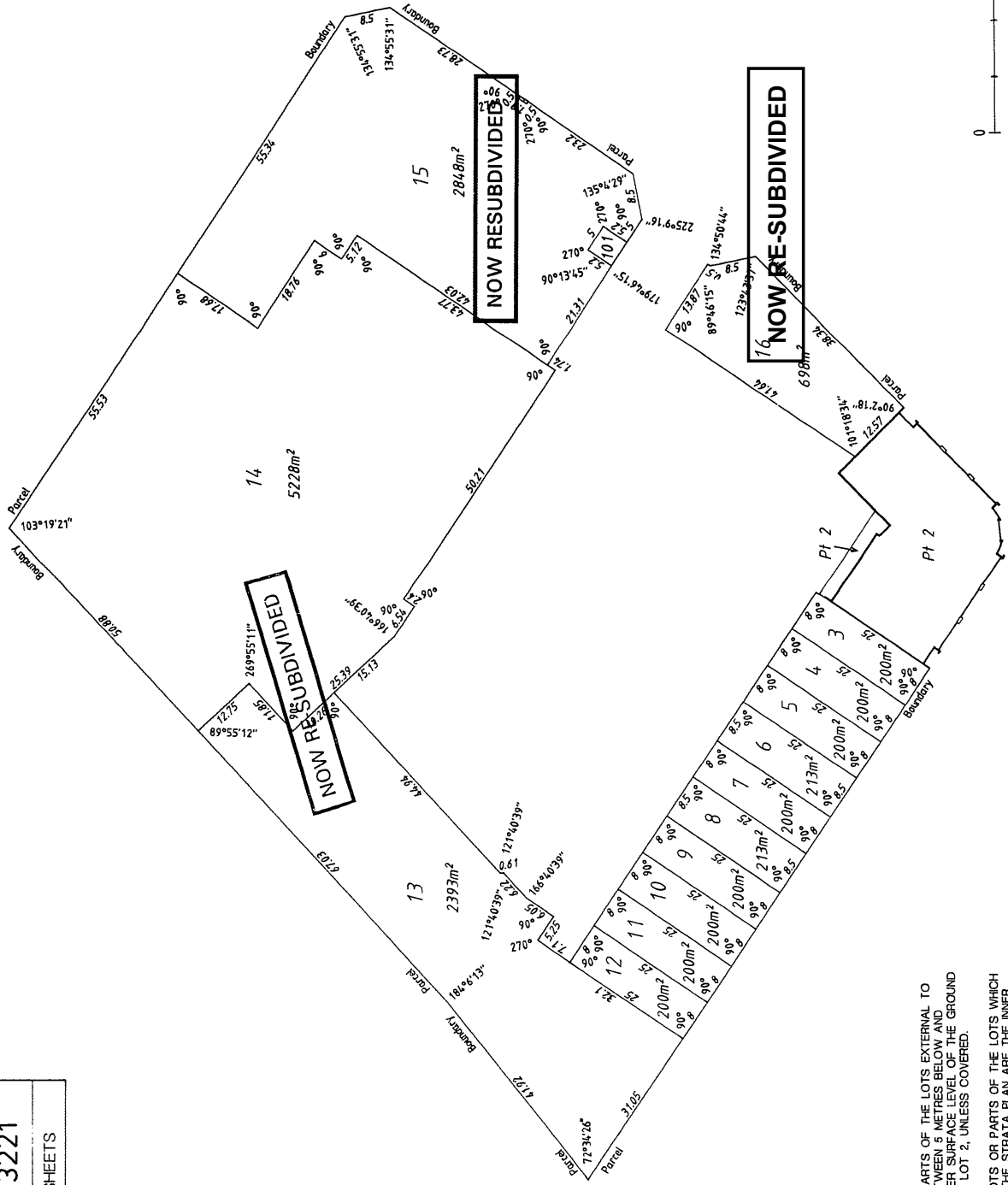
NAME OF SCHEME 1 MUSEUM PLACE GERALDTON

ADDRESS OF PARCEL 1 MUSEUM PLACE GERALDTON WA 6530

Department of Land Information

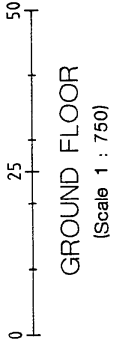
STRATA / SURVEY -
STRATA PLAN 43221

SHEET 2 OF 2 SHEETS



STRATA OF THE LOTS OR PARTS OF THE LOTS EXTERNAL TO THE BUILDINGS EXTENDS BETWEEN 5 METRES BELOW AND 20 METRES ABOVE THE UPPER SURFACE LEVEL OF THE GROUND FLOOR OF THE BUILDING ON LOT 2, UNLESS COVERED.

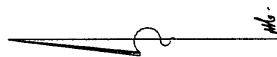
THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACES OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 32(1)(a) OF THE STRATA TITLES ACT 1985.



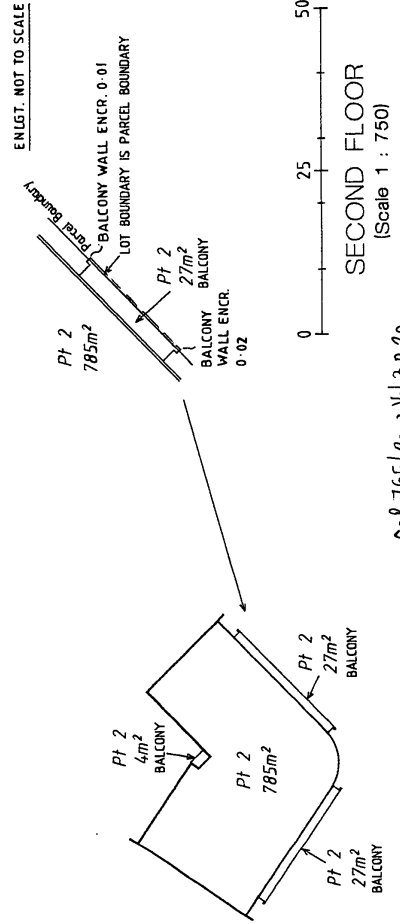
PL 7/16/2003

STRATA / SURVEY -
STRATA PLAN 43221

SHEET 4 OF 4 SHEETS



FOR OTHER PARTS OF LOT 2
SEE SHEETS 2 & 3 OF 4 SHEETS



THE STRATA BOUNDARIES OF THE BALCONIES ARE TO THE EXTERNAL SURFACES OF THE BUILDINGS, TO THE EXTERNAL SURFACES OF THE BALCONY CONCRETE SLAB, FROM THE UPPER SURFACE OF THE BALCONY SLAB AND 3 METRES ABOVE, UNLESS COVERED, OR OTHERWISE STATED.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BUILDINGS SHOWN ON THE STRATA PLAN ARE THE INNER SURFACES OF THE WALLS, THE UPPER SURFACES OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(b) OF THE STRATA TITLES ACT 1985.

SECOND FLOOR
(Scale 1 : 750)

Col 765/2003 Vol 3 p 20

[Handwritten signature]

FORM 3

STRATA/SURVEY STRATA PLAN NO. 43221							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No.	Unit Entitlement	Vol.	Fol.	Lot No.	Unit Entitlement	Vol.	Fol.
1	NOW	SUBDIVIDED		15	789	2548	655
2	4200	2516-283		16	226	"	656
3	171	2548	643				
4	171	"	644				
5	171	"	645				
6	185	"	646				
7	171	"	647				
8	185	"	648				
9	171	"	649				
10	171	"	650				
11	171	"	651				
12	171	"	652				
13	1108	"	653				
14	1939	"	654	Aggregate	10,000		

SEE FINISHED SET OF
PLAN OF THE SUBDIVISION

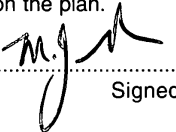
DESCRIPTION OF PARCEL AND BUILDING/PARCEL

THE BUILDING SUBJECT OF THIS PLAN IS A THREE STOREY CONCRETE PANEL AND METAL ROOFED OFFICE COMPLEX SITUATED ON STRATA PLAN 43221 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON, AND COMPRISING FOURTEEN VACANT STRATA LOTS.

CERTIFICATE OF LICENSED VALUER
STRATA/SURVEY STRATA

I, MICHAEL JOHN ROWE, being a Licensed Valuer licensed under the *Land Valuers Licensing Act 1978* certify that the unit entitlement of each lot (in this certificate, excluding any common property lots), as stated in the schedule bears in relation to the aggregate unit entitlement of all lots delineated on the plan a proportion not greater than 5 per cent more or 5 per cent less than the proportion that the value (as that term is defined in section 14 (2a) of the *Strata Titles Act 1985*) of that lot bears to the aggregate value of all the lots delineated on the plan.

16-9-2003
Date


Signed

FORM 5

Strata Titles Act 1985
Sections 5B(1), 8A, 22(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

LOT 1 ON STRATA PLAN 43221 COMPRISED IN CERTIFICATE OF TITLE
VOLUME:2516 FOLIO:282 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LICENSED SURVEYOR

I,.....MURRAY CARLTON....., being a licensed surveyor
registered under the *Licensed Surveyors Act 1909*, certify that in respect
of the strata plan which relates to the parcel and building described above
(in this certificate called "the plan")—

- (a) each lot that is not wholly within a building shown on the plan is within the external surface boundaries of the parcel; and either
- ~~(b) each building shown on the plan is within the external surface boundaries of the parcel; or~~
- (c) in a case where a part of a wall or building, or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel—
 - (i) all lots shown on the plan are within the external surface boundaries of the parcel;
 - (ii) the plan clearly indicates the existence of the encroachment and it's nature and extent; and
 - (iii) where the encroachment is not on to a public road, street or way, that an appropriate easement has been granted and will be lodged with the Registrar of Titles to enable it to be registered as an appurtenance of the parcel; and
- *~~(d) if the plan is a plan of re-subdivision, it complies with Schedule 1 by-law(s) No(s)..... on Strata Plan No..... registered in respect of (name of scheme)..... or sufficiently complies with that/those by-law(s) in a way that is allowed by regulation 36 of the *Strata Titles General Regulations 1996*.~~

.....16-9-2003.....
Date

Murray Doer
.....
Licensed Surveyor

* Delete if inapplicable

FORM 7

Strata Titles Act 1985

Section 5B(2), 8A(f), 23(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

LOT 1 ON STRATA PLAN 43221 COMPRISED IN CERTIFICATE OF TITLE
.VOLUME:2516 FOLIO:282 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LOCAL GOVERNMENT

.....CITY OF GERALDTON....., the local government hereby
certifies that in respect of the strata plan which relates to the parcel and
building described above (in this certificate called "the plan"):-

- (1) *(a) the building and the parcel shown on the plan have been inspected
and that it is consistent with the approved building plans and
specifications in respect of the building; or

*~~(b) the building has been inspected and the modification is consistent
with the approved building plans and specifications relating to the
modification;~~
- (2) the building, in the opinion of the local government, is of sufficient
standard to be brought under the *Strata Titles Act 1985*;
- (3) where a part of a wall or building or material attached to a wall or
building, encroaches beyond the external surface boundaries of the
parcel on to a public road, street or way the local government is of the
opinion that retention of the encroachment in its existing state will not
endanger public safety or unreasonably interfere with the amenity of
the neighbourhood and the local government does not object to the
encroachment; and
- (4) *(a) any conditions imposed by the Western Australian Planning
Commission have been complied with; or

*~~(b) the within strata scheme is exempt from the requirement of approval
by the Western Australian Planning Commission.~~

.....14/9/03.....
Date

.....*R. W. Jeffkins*.....
Chief Executive Officer

*Delete if inapplicable

FORM 26

WAPC Ref. No. 647-03

STRATA PLAN No. 43221

STRATA TITLES ACT 1985
Sections 25(1), 25(4)

CERTIFICATE OF GRANT OF APPROVAL BY WESTERN AUSTRALIAN PLANNING COMMISSION TO STRATA PLAN

It is hereby certified that the approval of the Western Australian Planning Commission has been granted pursuant to section 25(1) of the Strata Titles Act 1985 to—

(i) the Strata Plan/Plan of Re-Subdivision/Plan of Consolidation submitted on - 7 OCT 2003 and relating to the property described below;

(ii) the sketch submitted on of the proposed subdivision of the property described below into lots on a Strata Plan/ Re-Subdivision/Consolidation of the lots on the Strata Plan described below, subject to the following conditions—

Property Description: Lot (or Strata Plan) No. STRATA LOT 1
Location GERALDTON LOTS 2906 & 3071
Locality MUSEUM PLACE, GERALDTON
Local Government CITY OF GERALDTON

Lodged by: CARLTON SURVEYS

Date: 29-5-2003

Rachel Chapina
For Chairman, Western Australian Planning Commission
- 7 OCT 2003

(*To be deleted as appropriate)

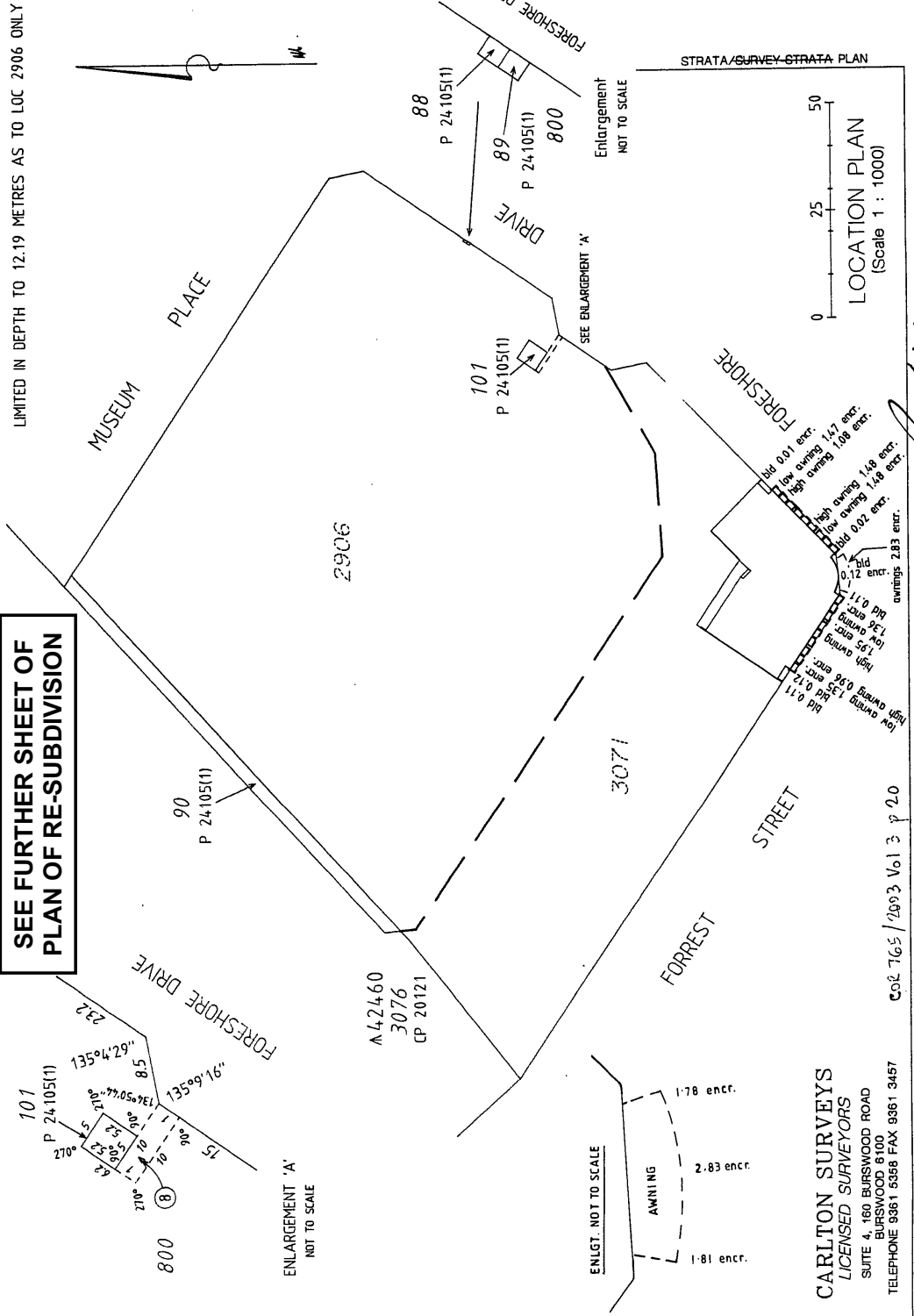
Date

INTERESTS AND NOTIFICATIONS

FORM 1

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
(8)	MEMORIAL EASEMENT (BELOW GROUND ELECTRIC)	SECTION 12A OF T.P. & D. ACT SEC 27A OF T.P. & D. ACT REG. 8	DOC (H371672) P 24105	LOT 800 ON DP 35588 (FORMERLY LOT 100 ON P 24105(1)) LOT 800 ON DP 35588 (FORMERLY LOT 100 ON P 24105(1))	SEE DOCUMENT ELECTRICITY CORPORATION	

SEE FURTHER SHEET OF PLAN OF RE-SUBDIVISION



STRATA / SURVEY - STRATA PLAN 43221

SHEET 1 OF 4 SHEETS

MANAGEMENT STATEMENT YES NO

Lodged 17.4.2003 \$165 (379310)
Examined 17.4.2003 571d
Registered 17.4.2003 Application 1452588

REGISTRAR OF TITLES
WESTERN AUSTRALIAN PLANNING COMMISSION
Certificate of Approval of W.A.P.C. under Section 25B(2) of Strata Titles Act 1985.

Delegated Under S.20 W.A.P.C. Act 1985 DATE

JOB : 5585

PLAN OF
LOT 800 ON DEPOSITED PLAN 35588

CERTIFICATE OF TITLE VOLUME: 2515 FOLIO: 600

LOCAL GOVERNMENT CITY OF GERALDTON

INDEX PLAN BG43(1) 29.51

FIELD BOOK NUMBER

SCALE 1 : 750 & 1 : 1000

NAME OF SCHEME 1 MUSEUM PLACE GERALDTON

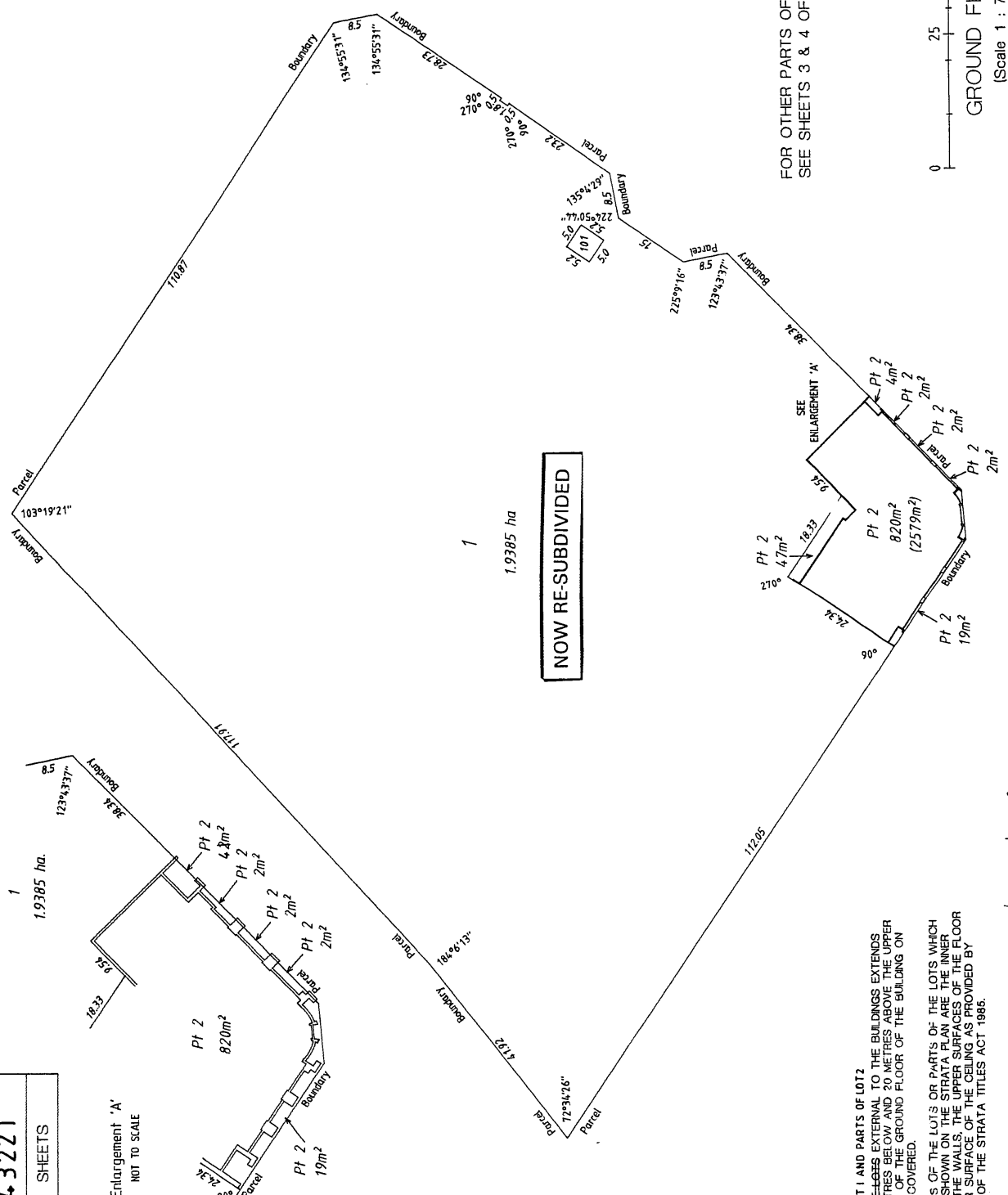
ADDRESS OF PARCEL 1 MUSEUM PLACE GERALDTON WA 6530

DOLA
Department of LAND ADMINISTRATION

CARLTON SURVEYS
LICENSED SURVEYORS
SUITE 4, 160 BURSWOOD ROAD
BURSWOOD 6100
TELEPHONE 9361 5358 FAX 9361 3457

STRATA / SURVEY -
STRATA PLAN 43221

SHEET 2 OF 4 SHEETS



FOR OTHER PARTS OF LOT 2
SEE SHEETS 3 & 4 OF 4 SHEETS

GROUND FLOOR
(Scale 1 : 750)

Enlargement 'A'
NOT TO SCALE

NOW RE-SUBDIVIDED

LOT 1 AND PARTS OF LOT 2
STRATA OF THE LOTS EXTERNAL TO THE BUILDINGS EXTENDS
BETWEEN 5 METRES BELOW AND 20 METRES ABOVE THE UPPER
SURFACE LEVEL OF THE GROUND FLOOR OF THE BUILDING ON
LOT 2, UNLESS COVERED.

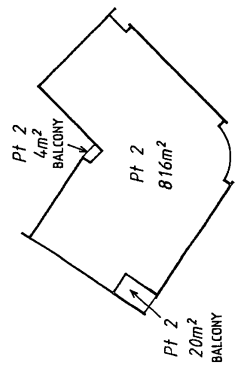
THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH
ARE SHOWN ON THE STRATA PLAN ARE THE INNER
SURFACES OF THE WALLS OF THE BUILDINGS OF THE FLOOR
AND THE OUTER SURFACES OF THE CURBS PROVIDED BY
SECTION 312(1) OF THE STRATA TITLES ACT 1986.

col 765/1003 Vol 3 p 20

STRATA / SURVEY -
 STRATA PLAN 43221
 SHEET 3 OF 4 SHEETS

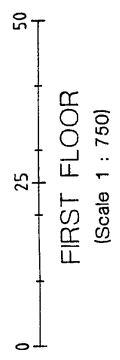


FOR OTHER PARTS OF LOT 2
 SEE SHEETS 2 & 4 OF 4 SHEETS



THE STRATA BOUNDARIES OF THE BALCONIES ARE TO THE EXTERNAL SURFACES OF BUILDINGS TO THE EXTERNAL SURFACES OF THE BALCONY CONCRETE SLAB AND THE INNER FACES OF THE WALLS ENLOSING THE BALCONIES FROM THE UPPER SURFACE OF THE BALCONY SLAB AND 3 METRES ABOVE, UNLESS COVERED, OR OTHERWISE STATED.

THE BOUNDARIES OF THE LOTS OR PARTS OF THE LOTS WHICH ARE BORN BY THE STRATA PLAN ARE THE UPPER SURFACES OF THE WALLS, THE UPPER SURFACES OF THE FLOOR AND THE UNDER SURFACE OF THE CEILING AS PROVIDED BY SECTION 3(2)(a) OF THE STRATA TITLES ACT 1985.



[Handwritten signature]

FORM 5

Strata Titles Act 1985
Sections 5B(1), 8A, 22(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

THE BUILDING SUBJECT OF THIS PLAN IS A THREE STOREY CONCRETE PANEL AND METAL ROOFED OFFICE COMPLEX SITUATED ON LOT 800 ON DEPOSITED PLAN 35588 COMPRISED IN CERTIFICATE OF TITLE VOLUME:2935 FOLIO:600 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LICENSED SURVEYOR

I,.....MURRAY CARLTON....., being a licensed surveyor registered under the *Licensed Surveyors Act 1909*, certify that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan")—

(a) each lot that is not wholly within a building shown on the plan is within the external surface boundaries of the parcel; and either

~~(b) each building shown on the plan is within the external surface boundaries of the parcel; or~~

(c) in a case where a part of a wall or building, or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel—

(i) all lots shown on the plan are within the external surface boundaries of the parcel;

(ii) the plan clearly indicates the existence of the encroachment and it's nature and extent; and

~~(iii) where the encroachment is not on to a public road, street or way, that an appropriate easement has been granted and will be lodged with the Registrar of Titles to enable it to be registered as an appurtenance of the parcel; and~~

~~*(d) if the plan is a plan of re-subdivision, it complies with Schedule 1 by-law(s) No(s)..... on Strata Plan No..... registered in respect of (name of scheme)..... or sufficiently complies with that/those by-law(s) in a way that is allowed by regulation 36 of the *Strata Titles General Regulations 1996*.~~

.....18-12-2002.....
Date

.....
Licensed Surveyor

* Delete if inapplicable

Col 765 / 2003 Vol 3 p 20

FORM 7

Strata Titles Act 1985

Section 5B(2), 8A(f), 23(1)

STRATA PLAN No. 43221

DESCRIPTION OF PARCEL & BUILDING

THE BUILDING SUBJECT OF THIS PLAN IS A THREE STOREY CONCRETE PANEL AND METAL ROOFED OFFICE COMPLEX SITUATED ON LOT 800 ON DEPOSITED PLAN 35588 COMPRISED IN CERTIFICATE OF TITLE VOLUME: 2535 FOLIO: 600 AND BEING KNOWN AS 1 MUSEUM PLACE, GERALDTON.

CERTIFICATE OF LOCAL GOVERNMENT

.....CITY OF GERALDTON....., the local government hereby certifies that in respect of the strata plan which relates to the parcel and building described above (in this certificate called "the plan"):-

(1) *(a) the building and the parcel shown on the plan have been inspected and that it is consistent with the approved building plans and specifications in respect of the building; or

~~*(b) the building has been inspected and the modification is consistent with the approved building plans and specifications relating to the modification;~~

(2) the building, in the opinion of the local government, is of sufficient standard to be brought under the *Strata Titles Act 1985*;

(3) where a part of a wall or building or material attached to a wall or building, encroaches beyond the external surface boundaries of the parcel on to a public road, street or way the local government is of the opinion that retention of the encroachment in its existing state will not endanger public safety or unreasonably interfere with the amenity of the neighbourhood and the local government does not object to the encroachment; and

(4) *(a) any conditions imposed by the Western Australian Planning Commission have been complied with; or

~~*(b) the within strata scheme is exempt from the requirement of approval by the Western Australian Planning Commission.~~

7/1/2003
.....
Date


.....
Chief Executive Officer

*Delete if inapplicable

FORM 26

WAPC Ref. No. 915-01

STRATA PLAN No. 43221.....

STRATA TITLES ACT 1985
Sections 25(1), 25(4)

**CERTIFICATE OF GRANT OF APPROVAL BY WESTERN AUSTRALIAN
PLANNING COMMISSION TO STRATA PLAN**

It is hereby certified that the approval of the Western Australian Planning Commission has been granted pursuant to section 25(1) of the *Strata Titles Act 1985* to—

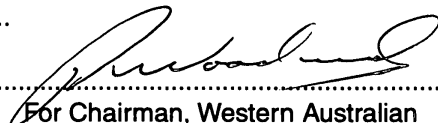
* (i) the *~~Strata Plan/Plan of Re-Subdivision/Plan of Consolidation~~ submitted on 10 APR 2003 and relating to the property described below;

* (ii) the sketch submitted on
of the *~~proposed subdivision of the property described below into lots on a Strata Plan/ Re-Subdivision/Consolidation of the lots on the Strata Plan described below~~, subject to the following conditions—

Property Description: Lot (or ~~Strata Plan~~) No. 100 (NOW 800)
.....
Location GERALDTON LOTS 2906 & 3071
.....
Locality MUSEUM PLACE, GERALDTON
.....
Local Government CITY OF GERALDTON

Lodged by: CARLTON SURVEYS

Date: 11-9-2001



For Chairman, Western Australian
Planning Commission

10 APR 2003

Date

(*To be deleted as appropriate)

