

# 10-YEAR PLAN

& CONDITION REPORT

27 January 2022

21 Northwood Street,  
West Leederville WA 6007

Strata Plan No: S068009

Year Built: Approx. 2016



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## 1. General Items

### FIORE

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Address	21 Northwood Street, West Leederville WA 6007
Strata Plan No.	S068009
Number of Lots	36
Strata Management Company	Realmark Strata
Strata Manager	Karla Roche
Date of Inspection	13 December 2021
Weather Conditions	Sunny
Period of Plan	1 May 2022 - 30 April 2032
Plan Prepared	Kristian Jeromson - Principal Asset Reports QS Pty Ltd 2/186 Scarborough Beach Rd, Mount Hawthorn WA 6016
Condition Report Prepared	Mike Hatfield - Registered Builder, Builders Registration #10581 Home Integrity Building Consultants Pty Ltd 196 Scarborough Beach Rd, Doubleview WA 6018

## 2. Building Details

### General Building Details

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Year Construction Completed	2016
Builder	Unknown
Builder Warranty Length	-
Builder Warranty Expiry	-

### Building Materials

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Building Structure	Precast Concrete, In Situ Concrete, CFC Concrete Filled , Masonry Walls
Rendering	Yes
Painting	Yes
Roof	Concrete and Steel Structure, Metal Concrete Slab
Gutters	Metal
Downpipes	External and Internally Concealed
Driveway	Polished Concrete
Visitors Parking	Yes
Line Marking	Yes
Council Verge Crossover	Yes
Handrails & Balustrades	Metal handrails
Common Area Lighting	Various. Light Fittings and Downlights
Basement Lighting	Light Fittings

## 2. Building Details (cont.)

### OBSERVATIONS

#### High Risk Observations

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Nil.

#### Low Risk Observations

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Refer to Strata Condition Report.

### 10-YEAR PLAN SPECIFICS

#### Exclusions & Limitations

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The following areas were inaccessible at time of inspection:

Access issue 1: Roof Void - No Access - Pitch, Skillion roof.

Access issue 2: Roof Exterior - Restricted Access - Solar panels on the roof , Hot water storage units, Ventilation fan/equipment and other services on the concrete roof area.

Estimates/forecasts - provided in this plan are merely opinions of possible costs based on the knowledge and experience of Asset Reports QS & Home Integrity Building Consultants. Estimates/forecasts are not a guarantee or quotation for work to be carried out.

#### Quotes / Service Contractor Documents Reviewed

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Nil.

### 3A. Reserve Fund Summary - Current Funding Levels

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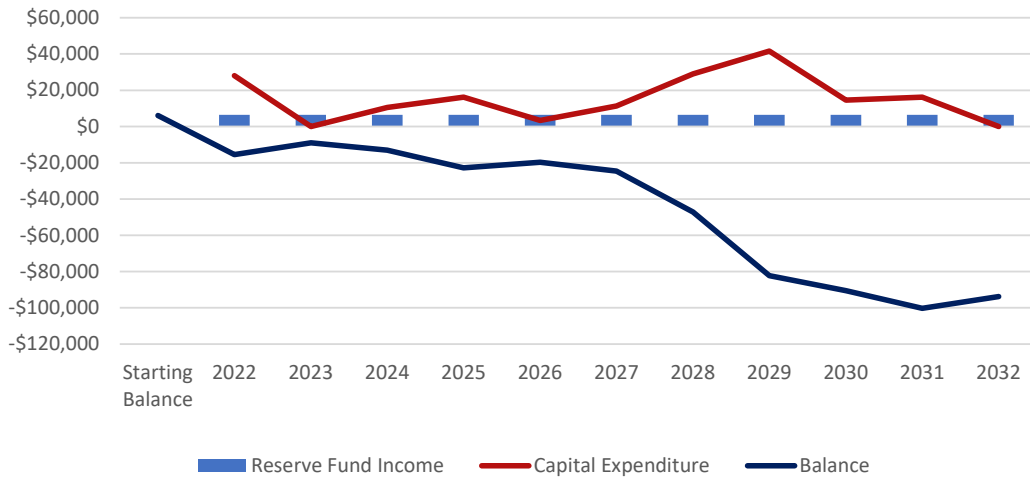
21 Northwood Street, West Leederville WA 6007

Total Unit Entitlement	1000
Levy Contribution per UE	\$6.44
Capital Expenditure - Escalation P.A.	2.5%

Table A. Current Funding Levels

Year	Reserve Fund Income	Capital Expenditure	Balance
Starting Balance	\$0		\$6,064
2022	\$6,440	\$28,000	-\$15,496
2023	\$6,440	\$0	-\$9,056
2024	\$6,440	\$10,506	-\$13,122
2025	\$6,440	\$16,153	-\$22,835
2026	\$6,440	\$3,311	-\$19,707
2027	\$6,440	\$11,314	-\$24,581
2028	\$6,440	\$28,992	-\$47,133
2029	\$6,440	\$41,604	-\$82,297
2030	\$6,440	\$14,621	-\$90,478
2031	\$6,440	\$16,235	-\$100,273
2032	\$6,440	\$0	-\$93,833

Chart A. Current Funding Levels



### 3B. Reserve Fund Summary - Additional Funds Required

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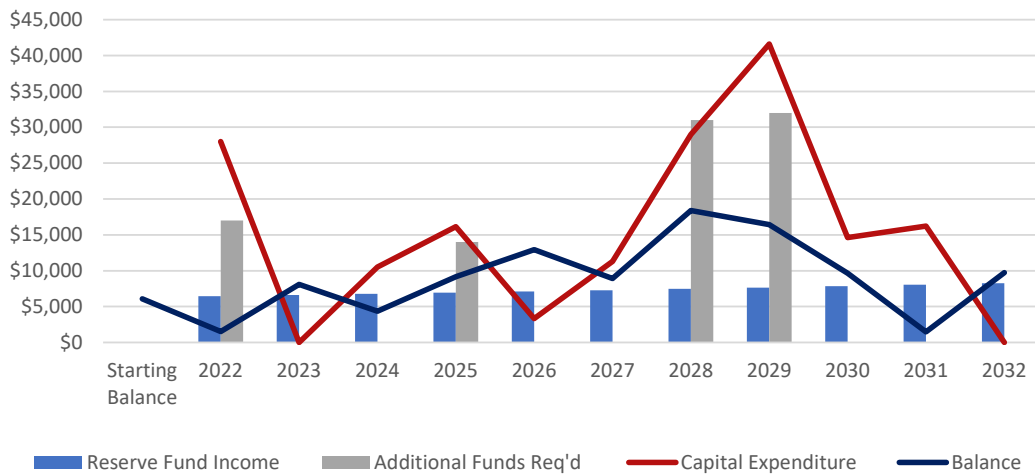
21 Northwood Street, West Leederville WA 6007

Total Unit Entitlement	1000
Levy Contribution per UE	\$6.44
Escalation for Levies & Capital Expenditure P.A.	2.5%

Table B. Additional Funds

Year	Reserve Fund Income	Additional Funds Req'd	Capital Expenditure	Balance
Starting Balance	\$0			\$6,064
2022	\$6,440	\$17,000	\$28,000	\$1,504
2023	\$6,601	\$0	\$0	\$8,105
2024	\$6,766	\$0	\$10,506	\$4,365
2025	\$6,935	\$14,000	\$16,153	\$9,147
2026	\$7,109	\$0	\$3,311	\$12,944
2027	\$7,286	\$0	\$11,314	\$8,916
2028	\$7,468	\$31,000	\$28,992	\$18,392
2029	\$7,655	\$32,000	\$41,604	\$16,443
2030	\$7,847	\$0	\$14,621	\$9,669
2031	\$8,043	\$0	\$16,235	\$1,477
2032	\$8,244	\$0	\$0	\$9,720

Chart B. Additional Funds



**Annual escalation** for Reserve Fund income (levies) and Capital Expenditure is 2.5%.

**Additional funds required** may be raised internally by lot owners or externally through capital source (i.e. Loan from Financial Institution).

## 4A. Capital Expenditure

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21 Northwood Street, West Leederville WA 6007

As at 13 December 2021

Annual Escalation Rate (Year 1-10) 0.025

Items outlined below are Capital Expenditure recommendations based on the findings of the Strata Condition Report & Asset Reports Quantity Surveyors.

Note: *Total spend per year* figures at the end of this table are used in the Capital Expenditure column in *Tables A & B*.

Note: Maintenance and Repair items are considered non-capital expenditure therefore do not form part of this table. Refer to *4B. Maintenance and Repair*

Note: Items with an Asterisk (\*) meaning it is optional to repair or replace. However, we have included these items as expenditure in the table below. (i.e. Value Engineering or Questionnaire wishlist item)

Facility Service Area	Item	Recommended Life (Years)	Next Replacement	Estimate (ex GST)	Estimate supplied by third party	Estimate based on the following details of action	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	
BUILDING MATERIALS	Roofs	20	2022	\$15,000	Home Integrity Building Consultants	<p><u>Covered item(s)</u>: Roof Exterior, Gutters, Downpipes, Stormwater Drainage, Flashings, Penetrations  <u>Action</u>: Clean and treat metal roof sheeting, guttering and flashing surfaces, to remove any surface rust caused from metal fillings left on the surfaces and prevent ongoing damage; Monitor penetration flashings, repair and/or replace as required; Remove rope dropping down into downpipe, to the northern side of the roof; Repair wall flashings, replace rusted fixings and seal; install additional fixings wall flashings and modify/repair where water is pooling; Repair and replace rusted fixings to louvre awnings where required; Monitor water proof membrane surface over concrete roof areas and repair where required; Install drain grates to concrete roof drains to prevent debris entering and causing blockages (Ref. page 6 - 8)</p>	\$15,000											
	Walls	10	2029	\$35,000	Home Integrity Building Consultants	<p><u>Covered item(s)</u>: Exterior Walls, Feature Panelling, Window Sills, Lintels, Water Proofing  <u>Action</u>: Patch and paint feature cladding to exterior walls; Monitor, repair and refinish texture coating to exterior walls, where minor appearance cracking and potential surface deterioration is evident; Patch and paint interior walls in common areas (Ref. page 10 - 11)</p>								\$41,604				

Facility Service Area	Item	Recommended Life (Years)	Next Replacement	Estimate (ex GST)	Estimate supplied by third party	Estimate based on the following details of action											
						2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	

BUILDING MATERIALS	Floors	15	2028	\$25,000	Home Integrity Building Consultants											\$28,992			
	Ceilings	10	2030	\$12,000	Home Integrity Building Consultants												\$14,621		
	Windows	20	2025	\$15,000	Home Integrity Building Consultants				\$16,153										
	Driveway & Parking Areas	15	2027	\$10,000	Home Integrity Building Consultants												\$11,314		
	Stairs	15	2022	\$2,000	Home Integrity Building Consultants	\$2,000													
	Doors	10	2031	\$13,000	Home Integrity Building Consultants														\$16,235

Facility Service Area	Item	Recommended Life (Years)	Next Replacement	Estimate (ex GST)	Estimate supplied by third party	Estimate based on the following details of action	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
BUILDING MATERIALS	Elevated Balconies & Walkways	20	2026	\$3,000	Home Integrity Building Consultants	<p><b>Covered item(s):</b> Balustrades  <b>Location:</b> Typical to all locations  <b>Action:</b> Clean and apply protection to balustrades, as per manufacturer's warranty and as part of the routine maintenance (Ref. page 32)  <b>Note:</b> Recommend Trade Professional is engaged to provide general maintenance to area as required, unless circumstances change post inspection.</p>					\$3,311						
HVAC	Ventilation	15	2022	\$1,000	Home Integrity Building Consultants	<p><b>Covered item(s):</b> Exhaust Fans, Carbon Monoxide Exhaust Fans, Louvers (Passive Ventilation)  <b>Action:</b> Repair and treat any early stage corrosion evident to equipment brackets and fixings where required (Ref. page 34)</p>	\$1,000										
SECURITY & SAFETY	Fire Services	15	2022	\$2,000	Home Integrity Building Consultants	<p><b>Covered item(s):</b> FIP (Fire Indicator Panel), Fire Hose Reels, Fire Extinguishers, Fire Alarms, Fire Pump (Log Book)  <b>Action:</b> Recommend installing FES approved locks to sliding doors, over openings into water tanks (Ref. page 36)  <b>Note:</b> Potential safety hazard for young children.</p>	\$2,000										
	Security Components	15	2022	\$1,500	Home Integrity Building Consultants	<p><b>Covered item(s):</b> Auto Doors, Intercom  <b>Action:</b> Repair or replace missing covers/components to the entry door closer mechanism (Ref. page 43)</p>	\$1,500										
	Roof Access Safety Equipment	15	2024	\$10,000	Home Integrity Building Consultants	<p><b>Covered item(s):</b> Roof Access Safety Equipment (Log Book)  <b>Action:</b> Remove surface corrosion evident to some roof anchor points; Repair loose angle stop and modify or replace faulty, difficult to operate bolt; Install hold open stay, to secure gate in position, when accessing the roof; Recommend installing a suspended metal walkway, fitted against the equipment enclosure, to provide safe access over the solar panels (Ref. page 45)</p>			\$10,506								

Facility Service Area	Item	Recommended Life (Years)	Next Replacement	Estimate (ex GST)	Estimate supplied by third party	Estimate based on the following details of action	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
ENERGY & RESOURCES	Utility Conduits and Services	15	2022	\$3,000	Home Integrity Building Consultants	<u>Covered item(s)</u> : Cable Trays, Plumbing Pipes, Conduits <u>Action</u> : Repair and treat rust corrosion evident to equipment and cable tray brackets and fixings, on the roof top, where required; Repair leaking from PVC plumbing pipe on Basement B1 level, by plumber and waterproofing contractor (Ref. page 38 - 39)	\$3,000										
ENERGY & RESOURCES	Hot Water Systems	15	2022	\$2,500	Home Integrity Building Consultants	<u>Covered item(s)</u> : Hot Water System, Drain, Brackets <u>Action</u> : Repair and/or replace deteriorated insulation lagging to hot water pipes where required (Ref. page 41)	\$2,500										
OWNER & RESIDENT SERVICES	Utility Rooms	20	2022	\$1,000	Home Integrity Building Consultants	<u>Covered item(s)</u> : Lobbies, Bathrooms, Garbage Disposal (Bin Store), Bike Store <u>Action</u> : Repair and/or replace damaged facia, to bench seating in entry lobby (Ref. page 29 - 30)	\$1,000										
TOTAL SPEND PER YEAR							\$28,000	\$0	\$10,506	\$16,153	\$3,311	\$11,314	\$28,992	\$41,604	\$14,621	\$16,235	\$0

## 4B. Maintenance and Repair

FIORE

21 Northwood Street, West Leederville WA 6007

As at 13 December 2021

Annual Escalation Rate (Year 1-10) 0.025

Items outlined below are Maintenance and Repair recommendations based on the findings of the Strata Condition Report & Asset Reports Quantity Surveyors.

Note: Maintenance and Repair items are considered non-capital expenditure therefore do not form part of the forecasts/calculations in *Tables A & B*.

Note: It is recommended for the Strata Company to engage with the relevant trade professional(s) to obtain quote pricing and further advice on frequency of maintenance required.

Facility Service Area	Item	Recommended Life (Years)	Frequency of action required	Estimate (ex GST)	Estimate supplied by third party	Estimate based on the following details of action	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	
BUILDING MATERIALS	Roofs	20	Regularly	Obtain quote from trade professional	Roof Plumber	<p><u>Covered item(s)</u>: Roof Exterior, Gutters, Downpipes, Stormwater Drainage, Flashings, Penetrations</p> <p><u>Location</u>: Various Locations</p> <p><u>Action</u>: Recommend trade professionals to carry out regular roof, gutter, cleaning to pavement canopy roof and tree lopping as required (Ref. page 6 - 8)</p>	Obtain Quote											
	Floors	15	Regularly	Obtain quote from trade professional	Plumber	<p><u>Covered item(s)</u>: Exterior Concrete, Water Proofing, Mastic Joints, Interior Concrete, Floor Tiles, Carpet</p> <p><u>Location</u>: Typical to all locations</p> <p><u>Action</u>: Recommend trade professionals to carry out regular cleaning inside trench drains to prevent blockages (Ref. page 13 - 14)</p>						Obtain Quote						
	Driveway & Parking Areas	15	Routine	Obtain quote from trade professional	Plumber	<p><u>Covered item(s)</u>: Driveway, Parking Area, Line Marking, Drainage, Kerbing, Bollards, Impact Protection, Wheel Stops</p> <p><u>Location</u>: West</p> <p><u>Action</u>: Recommend trade professionals to clean-out drainage sumps, as part of routine maintenance (Ref. page 21 - 23)</p>						Obtain Quote						
	Doors	10	Routine	Obtain quote from trade professional	Carpenter	<p><u>Covered item(s)</u>: Doors, Fire Doors, Hinges, Door furniture, Self Closer, Smoke Seals</p> <p><u>Location</u>: Typical to all locations</p> <p><u>Action</u>: Recommend trade professionals to carry out routine maintenance to doors and service hardware as required; Recommend trade professionals to carry out routine servicing and repairs to glazed aluminium sliding doors as required (Ref. page 27)</p>						Obtain Quote						

Facility Service Area	Item	Recommended Life (Years)	Frequency of action required	Estimate (ex GST)	Estimate supplied by third party	Estimate based on the following details of action	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	
OWNER & RESIDENT SERVICES	Utility Rooms	20	Periodic	Obtain quote from trade professional	Building Maintenance	<u>Covered item(s)</u> : Lobbies, Bathrooms, Garbage Disposal (Bin Sotre), Bike Store <u>Location</u> : Various Locations <u>Action</u> : Recommend trade professionals to carry out periodic patching and repairs to epoxy floor coatings in Bin Stores, as a parth of routine maintenance (Ref. page 29 - 30)	Obtain Quote											
TOTAL SPEND PER YEAR							\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

## 5. Satellite Image



## 6. Special Conditions

The Building Consultant shall not be liable for failure to perform any duty or obligation that the consultant may have under this agreement, where such failure has been caused by inclement weather, industrial disturbance, inevitable accident, inability to obtain labour or transportation, or any cause outside the reasonable control of the consultant.

## 7. Service

### Purpose of inspection & Condition Report

The purpose of the inspection & Condition report is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

### Purpose of 10-Year Strata Plan

The purpose of the 10-Year Strata Plan is to aggregate the findings of the *Strata Building Condition Report* and provide advice to the Client regarding expected maintenance, repair, renewal or replacement expenditure over the duration of the Plan.

Combined, the Condition Report & 10-Year Strata Plan includes compliant information with the requirements outlined within regulation 77 of the Strata Titles (General) Regulations 2019.

### Scope of inspection

The Condition Report/10-Year Strata Plan ("Report") only covers or deals with any evidence of: Conditions conducive to Structural Damage; collective (but not individual) Minor Defects discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site and is based on a visual examination of surface work (but excluding furniture and stored items), and the carrying out of Tests.

The Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in the Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report is to be based please discuss your concerns with the Consultant before ordering the Report or on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in the Report and should seek further specialist advice relating to those works.

## 8. Limitations

The Client acknowledges:

1. The Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a special-purpose inspection report, which is adequately specified (see Exclusions below).
2. The Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
3. The inspection only covers the Readily Accessible Areas of the property. The inspection does not include areas, which are inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
4. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is to be produced for the use of the Client. The Consultant is not liable for any reliance placed on the Report by any third party.

## 9. Exclusions

The Client acknowledges that the Report does not cover, deal with or take responsibility for:

- (a) fire services, electrical, water or gas services;
- (b) detection of wood destroying insects such as termites and wood borers;
- (c) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (d) a review of environmental or health or biological risks such as toxic mould;
- (e) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (f) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip, earthquakes or tidal inundation, or if it is flood prone.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

## 10. Reliance

This Report is not a building condition report; is not a defect report; and should not be relied upon in any way by a buyer of a lot in the Strata / Survey Strata scheme (**Scheme**) or relied upon by any third party.

This Report has been prepared at the date specified on the cover of the Report (**Preparation Date**) for the strata company of the Scheme (**Strata Company**); and for the sole purpose of enabling the Strata Company to comply with the Strata Company's requirements under section 100(2A) of the Strata Titles Act 1985 (**Act**), which is to:

- (a) assist the Strata Company in forecasting what maintenance, repairs, renewal or replacement may be required for the ten-year period from the Preparation Date of:
  - (i) some of the common property in the Scheme; and
  - (ii) some of the personal property of the Strata Company; and
- (b) to assist the Strata Company in estimating what amount of money may be required to spend on maintenance and repairs of the above items.

This Report only lists those items of common property in the Scheme (**Common Property**); and those items of personal property of the Strata Company (**Personal Property**); that the Strata Company, in its discretion under regulation 77(1)(e) of the Strata Titles (General) Regulations 2019 (**Regulations**), decided should be included within the Report (**Covered items**); and does not list all the Common Property and Personal Property.

Any statements in the Report relating to:

- (a) the present condition or operating state of a Covered item;
- (b) the date of installation, construction or acquisition of a Covered Item; and
- (c) the date on which an inspection of a Covered Item was last undertaken.

Collectively, **Statements** have either been: Made by the Strata Company; or approved by the Strata Company.

Accordingly, any Statements should not be relied upon in any way by a third party.

The **Recommended Life** of a Covered Item listed in the Report is merely a rough estimate of the period before works specified in relation to that Covered Item may be required.

The **Action** recommended in the Report for a Covered Item is merely a suggestion of the type of work that may be required for that Covered Item.

The time frame when an Action may be undertaken (**Time Frame**) is merely a rough forecast of when that Action may be required to be done and it should be noted that this forecast was made at the Preparation Date.

Accordingly, statements on the Recommended Life, Action and Time Frame should not be relied upon by any third party.

The actual requirements for the repair, maintenance, renewal and replacement of the Common Property and Personal Property for this Scheme (**Works**) will be impacted by a range of factors that Asset Reports cannot control and could not factor in when preparing the Report, such as:

- (a) when the Works are undertaken;
- (b) the quality of the Works;
- (c) unforeseeable weather events; and
- (d) any other events that could impact the Common Property and Personal Property.

The actual cost of the Works could vary depending upon the contractor used, the market conditions and other factors that Asset Reports cannot control and could not factor in when preparing the Report. Accordingly, The Strata Company should seek further specialist advice relating to the Works; and a third party should:

- (a) place no reliance on the Report; and
- (b) obtain specialist advice to match their requirements.

## 11. Estimates

Any estimates / forecasts provided in the Report are merely opinions of possible costs / forecasts that could be encountered, based on the knowledge and experience of Asset Reports QS (Quantity Surveyors) & Home Integrity Building Consultants (Registered Builders & Structural Engineers). The estimates / forecasts are not a guarantee or quotation for works to be carried out.

Asset Reports QS nor Home Integrity Building Consultants accept no liability for estimates / forecasts provided throughout the report. Where they occur, the Client agrees to obtain and rely on independent quotations for the same work.

## 12. Definitions

The Report contains reference to material that is copyright Standards Australia. That content is reproduced with permission from SAI Global under copyright Licence 0803-C035.

**Client** means the person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

**Building Consultant** means a person, business or company who is qualified and experienced to undertake an inspection in accordance with Australian Standard AS 4349.1-2007 and Australian Standard 4349.2 Inspection of Buildings Grouped Titled Properties. The consultant must also meet any Government licensing requirement, where applicable.

**Report** means the document and any attachments issued to the Client by Asset Reports QS following the inspection of the property.

**Building & Site** means the inspection of the nominated residence/strata scheme together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the

building, but within the property boundaries. In the case of strata and company title properties, the inspection is limited to the immediate exterior of the residences and includes inspection of common property.

**Structure** means the loadbearing part of the building, comprising the Primary Elements.

**Primary Elements** means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

**Structural Damage** means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

**Conditions Conducive to Structural Damage** means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

**Secondary Elements** means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

**Finishing Elements** means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint.

**Major Defect** means a defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

**Minor Defect** means a defect other than a Major Defect.

**Scheme** refers to the shared ownership of the building or collection of buildings owned by the Strata Company.

**Preparation Date** is the date specified on the cover of the report.

**Strata Company** means a body corporate constituted under the Strata Titles Act 1985 whether for a strata scheme or a survey strata scheme.

**Act:** the Strata Titles Act 1985.

**Common Property** means areas of a strata building or community which do not form part of a lot and that every occupier or owner shares.

**Personal Property** means the property the strata company is able to own and control in its own right. Personal property of the strata company can include items like vehicles, computers, gardening or maintenance equipment and signage.

**Regulations:** the Strata Titles (General) Regulations 2019

**Covered items:** Covered items form part of the common property or the personal property of the strata company which, in the opinion of the strata company, should be included in the plan having regard to the maintenance, repair, renewal or replacement that it is anticipated will be required in the period covered by the plan in accordance with Regulation 77 of the Regulations. In the opinion of the Strata Company, any items not listed as Covered Items within the Plan and any areas not inspected are not Covered Items for the purposes of regulation 77(2) of the Regulations.

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## OTHER STRATA SERVICES

BUILDING REPLACEMENT COST VALUATIONS

BUILDING WARRANTY CLAIMS

ASSET REGISTERS

ENGINEERING CONSULTING & WATER INGRESS

DEFECT REPORTS

TAX DEPRECIATION SCHEDULES

3D VIRTUAL TOURS  
(FOR ABSENT OWNERS PRIOR TO AGM)

DRONE IMAGERY

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